

COBAR SHIRE COUNCIL

DEVELOPMENT APPLICATION REPORT AND RECOMMENDATION

Single Storey Manufactured Home/Moveable Dwelling and Associated Decks and Carport

1. DETAILS OF THE APPLICATION

Application Number:	DA23/013
Applicant:	Thomas and Associates Consulting Pty Ltd on behalf of the Aboriginal Housing Office.
Land:	11 James Place, Cobar Lot 37 in DP860711
Proposed Development:	Single Storey Manufactured Home and Associated Decks and Carport
Integrated Development:	Not Applicable
Designated Development:	Not Applicable
Other Approvals Under s4.12 of the Environmental, Planning & Assessment Act 1979:	Carry Out Water Supply, Sewerage and Stormwater Drainage Work under Section 68 of the <i>Local Government Act 1993</i>

2. EXECUTIVE SUMMARY AND RECOMMENDATION

Proposed Development:

Council has received a Development Application for a single storey Manufactured Home on an existing vacant allotment in James Place, Cobar. The proposal is not Regionally Significant Development and therefore is Local Development and can be determined by Council. The proposed dwelling will be used as “intergenerational Aboriginal housing” and will consist of five bedrooms, with an attached porch, two decks and a detached free-standing carport.

It is proposed to locate the carport at the front of the dwelling and setback 6 metres from the front boundary and 1 metre from the Northern side boundary. The dwelling will be located 13 metres from the front boundary, 2 metres from the Southern side boundary and 2.2 metres from the Northern side boundary.

As the dwelling is a “Manufactured Home”, it will be constructed off-site by inmates of Corrective Services Industries. The program is a partnership between the NSW Aboriginal Housing Office and Corrective Services Industries. The carport and covered decks will be constructed on-site.

The application was placed on public exhibition on Council’s website for 14 days and formally notified to twenty-five (25) adjoining and adjacent property owners. A total of two (2) submissions were received in respect of the proposal.

The application has been referred to Council for determination as a result of the receipt of the two submissions from adjoining and adjacent owners.

Following an assessment of the application relative to the *Environmental Planning and Assessment Act 1979* (EP & A Act) and other related legislation, the application is recommended for approval by granting conditional consent.

The proposed development complies with the requirements of Part 2, Clause 2 of the Section 88B Instrument that relates to the subdivision. Staff consider that the proposed Hebel cladding wall panels of the dwelling, which will be rendered so as to give them a masonry appearance, complies with the intent of Part 2, Clause 2 (c) of the 88B Instrument.

Permissibility:

The relevant local environmental plan applying to the site is the *Cobar Local Environmental Plan 2012* (the LEP). The aims of the LEP include:

- *To encourage a range of housing, employment, recreation and community facilities to meet the needs of existing and future residents of Cobar, and*
- *To promote the efficient and equitable provision of public services, infrastructure and amenities.*

The proposed development is consistent with these aims as the proposal is providing a range of housing in the community to meet the needs of existing and future residents of Cobar. The design, location and proposed residential use of the new dwelling is consistent with promoting the efficient and equitable provision of housing supply in Cobar.

The site is located in an existing established residential subdivision of Cobar and is surrounded by residential dwellings. The allotment is zoned R2 Low Density Residential and under the Land Use Table of the LEP, “dwelling-houses” are permitted with consent.

One of the objectives of the R2 Low Density Residential Zone is:

“to provide for the housing needs of the community within a low density residential environment”

The proposal is considered to be consistent with this Zone objective as the proposal is a land use that will provide and satisfy the housing needs of the community in an area of Cobar that has a low density residential environment.

The site has been checked relative to the maps identified in the LEP and with the exception of the Land Zoning Map, all of the other maps (as listed below) are not applicable to the subject application:

- Lot Size Map
- Heritage Map
- Land Reservation Acquisition Map
- Terrestrial Biodiversity Map
- Groundwater Vulnerability Map
- Watercourse Map
- Wetlands Map
- Additional Permitted Uses Map

The LEP also contains controls relating to development standards, miscellaneous provisions and local provisions. The controls relevant to the proposal are identified in Table 1 below, together with comments:

Table 1: Consideration of the LEP Controls

Control	Requirement	Proposal	Complies
Earthworks (cl. 6.1)	<ol style="list-style-type: none"> 1. Objectives 2. Separate consent unless ancillary 3. Matters for consideration 	Proposal assessed against requirements. Earthworks will be required however as the subfloor will be of “bearers and joists” construction with isolated piers, the earthworks will not have a detrimental impact on neighbouring uses or features of the surrounding land.	Yes
Stormwater management (cl. 6.3)	<ol style="list-style-type: none"> 1. Objective 2. Application 3. Matters for consideration 	Proposal assessed against requirements. Roofwater to be piped to a 5000 litre rainwater tank by a charged system and the overflow piped to the street gutter.	Yes
Essential Services (cl. 6.10)	Essential services being available	Proposal assessed against requirements. Site has all existing essential services	Yes

Specific comments in respect to each of the identified controls are as follows:

- **Clause 6.1**

This clause relates to a control in respect of proposed earthworks. As no floor slab is required for the dwelling, the proposed earthworks will only be minor as the subfloor structure will consist of either timber or metal floor joists and bearers on metal isolated piers which will be supported on pier hole footings. However, it is assumed that the proposed double carport will require a concrete floor slab and this will be shown in the future Section 68 Application for the proposed development.

The proposed earthworks for the whole development are considered to be minor and any earthworks for the future carport slab are ancillary to a necessary part of the proposed development. The extent of the earthworks for the development does not warrant requiring a separate development consent as they will have minimal environmental impact.

- **Clause 6.3**

The clause relates to a control in respect of stormwater management with the objective of minimising the impacts of urban stormwater at the development site, adjoining properties, native bushland and receiving waters.

The “Drainage Plan” for the proposal indicates that all roofwater will be disposed of to a 5000 litre rainwater storage tank for reuse in the dwelling and the overflow of the rainwater tank will be piped to the street gutter.

An amended plan has been submitted showing that the proposed stormwater drainage system will not cause any adverse impacts on adjoining and adjacent properties. Following a phone conversation with the adjoining owner, their initial stormwater drainage concerns of have now been addressed satisfactorily and the objector has indicated that he will withdraw his submission as soon as he has reviewed the

amended drainage plans. Any official notification received by Council of the withdrawal of the submission, will be tabled at the Council Meeting. It should be noted that any stormwater drainage works will need to be complied with to the satisfaction of Council prior to the issue of a future Completion Certificate to occupy the dwelling.

- **Clause 6.10**

This clause states that development consent must not be granted to development unless the consent authority is satisfied that essential services needed for the proposed development are available or that adequate arrangements are made to make them available when required.

The site is serviced by suitable road access, reticulated water supply, reticulated sewerage system, reticulated electricity and stormwater drainage system. As these essential services are existing and available, the precondition to granting consent is satisfied.

In summary, the proposal is considered to be consistent with the LEP and consent may be granted without the need to seek an exception to a development standard under clause 4.6 of the LEP.

3. LEGISLATIVE CONSIDERATIONS

This section of the Assessment Report identifies and comments on legislation identified as being relevant to the subject development, followed by required statutory considerations.

3.1 Local Government Act 1993

Matters related to the *Local Government Act 1993* include the application of Cobar Shire Council Development Servicing Plans for Water Supply and Sewerage 2013 under Section 64 and the need to obtain approvals under Section 68 for activities relevant to the proposed development.

The relevant Section 64 Water Supply and Sewerage charges were paid at Subdivision stage prior to the release of the Subdivision Certificate to create the allotments.

The approvals required to be obtained under Section 68 include:

- Install a manufactured home and associated structure on land.
- Carry out sewerage work
- Carry out water supply work
- Carry out stormwater drainage work

In NSW, the installation of a “Manufactured Home on land, assuming that the Development Application for the “land use” is approved, cannot occur until a Section 68 Application has been approved by Council.

The process for the approval of a “Manufactured Home is different to that for a dwelling constructed onsite. The Section 68 Application is considered under the relevant provisions of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2021. This will be checked for compliance when the Section 68 Application is submitted to Council.

It should be noted that even though the proposed double carport and covered decks will be constructed onsite, they are defined as an “*associated structure*” under the Local Government Act 1993, as follows:

“*associated structure means-*

(a) a carport, garage, shed, pergola, verandah or other structure designed to enhance the amenity of a moveable dwelling and attached to or integrated with, or located on the same site as, the dwelling concerned, or

(b) a separating wall between 2 moveable dwellings”.

Therefore the proposed covered decks can also be approved under the Section 68 Application for the manufactured home.

However the proposed double carport will require the submission of a future Construction Certificate as it cannot be approved under the Section 68 Application. The reason for this is that the carport should also be located a minimum of 2 metres from the side boundary as required by Section 137 of the Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2021. The Applicant has requested that the carport be located 1 metre from the side boundary and Council supports this request, however it will require the submission of a Construction Certificate prior to the carport being constructed.

3.2 Biodiversity Conservation Act 2016

Section 1.7 of the *EP & A Act 1979* gives effect to Part 7 of the *Biodiversity Conservation Act 2016*. Part 7 includes an obligation to determine whether a proposal is likely to significantly affect threatened species.

A development is considered to result in a significant impact if any of the following apply:

- It is carried out in a declared area of outstanding biodiversity value
- It is likely to significantly affect threatened species or ecological communities or their habitats according to the test of significance in Section 7.3
- If the Biodiversity Offsets Scheme applies and the proposed development causes the Biodiversity Offsets Scheme Threshold to be exceeded.

The existing site is not in an area of outstanding biodiversity value.

The proposed development site is vacant but does contain several mature trees and grasses. No significant vegetation would be cleared to facilitate the project, other than minor grasses. On this basis, no significant impacts to threatened species or ecological communities or their habitats are anticipated as a result of the proposal.

3.3 Local Strategies / Studies / Plans

The Cobar Shire Local Strategic Planning Statement (adopted 28 May 2020) was prepared in accordance with Section 3.9 of the *EP & A Act 1979* and in part, gives effect to the Far West Regional Plan 2036.

The proposed development has been assessed relative to the above strategic documents and is considered to be consistent with the goals for the region and beneficial towards retaining Cobar as a healthy and cohesive community.

The *Cobar Local Infrastructure Contributions Plan 2012* adopted under the *EP & A Act 1979* is not relevant to the proposed development as all contributions and charges would have been paid by Council prior to the issue of the Subdivision Certificate.

3.4 Environmental Planning and Assessment Act 1979

When determining a development application, the consent authority must take into consideration the matters outlined in Section 4.15 (1) of the *EP & A Act 1979*. The matters that are relevant to the development application include the following:

- a) *The provisions of any environmental planning instrument, proposed instrument, development control plan, planning agreement and the regulations,*
- b) *The likely impacts of that development, including environmental impacts on both the natural and built environments and social and economic impacts in the locality,*
- c) *the suitability of the site for the development,*

- d) any submissions made in accordance with this Act or the Regulations,
- e) the public interest.

These matters are considered below:

- **Section 4.15 (1) (a) (i) – Provisions of Environmental Planning Instruments (EPI’s)**

The following EPI’s are relevant to this application:

- State Environmental Planning Policy (Resilience and Hazards) 2021
- Cobar Local Environmental Plan 2012.

A summary of the key matters for consideration arising from these State Environmental Planning Policies are outlined in Table 2 and considered in more detail below.

Table 2: Summary of Applicable State Environmental Planning Policies (SEPP)

EPI	MATTERS FOR CONSIDERATION	COMPLIES
SEPP (Resilience and Hazards) 2021	Section 4.6 – Contamination and remediation to be considered in determining development application	Yes
Cobar LEP 2012	“Permissibility” is considered in Section 2 of this Report.	Yes

State Environmental Planning Policy (Resilience and Hazards) 2021

The provisions of the above SEPP have been considered in the application. Section 4.6 of the SEPP requires consent authorities to consider whether the land is contaminated, and if the land is contaminated it is satisfied that the land is suitable in its contaminated state (or will be suitable after remediation) for the purpose for which the development is proposed to be carried out.

Based on the previous land use history of the site and on the findings of a desktop review and site inspection, it can be stated with a reasonable level of confidence that the site is unlikely to be contaminated. Therefore, the site is considered suitable for the proposed development.

- **Section 4.15 (1) (a) (ii) – Provision of any Proposed Instruments**

This assessment has not identified any proposed Instrument that is or has been subject of public consultation and relevant to this proposal.

- **Section 4.15 (1) (a) (iii) – Provisions of any Development Control Plan**

There are no Development Control Plans in effect within the Cobar Shire Local Government Area.

- **Section 4.15 (1) (a) (iiia) – Planning Agreements under Section 7.4 of the EP and A Act**

There are no planning agreements or draft planning agreements that are of relevance to the proposed development.

- **Section 4.15 (1) (a) (iv) – Provisions of Regulations**

The *Environmental Planning and Assessment Regulation 2021* in Sections 61, 62, 63 and 64 prescribe matters relevant to this paragraph. All of these Sections are not relevant to this proposal.

- **Section 4.15 (1) (b) – Likely Impacts of Development**

In considering the development application, the consent authority is to take into consideration matters as are of relevance to the proposed development, including the likely impacts of the development. Environmental impacts on both the natural and built environment, and social and economic impacts in the locality are to be considered.

In this regard, potential impacts as relevant to the proposal and identified in applicable SEPP and LEP controls have been considered in the responses included above in this assessment.

The SoEE dated 8 March 2023 submitted with the application has addressed the following impacts:

- Amenity Impacts for Neighbouring Properties
- Privacy Impacts
- Social and Economic Impacts

This assessment has considered the identified impacts included in the SoEE and supports both comments and conclusions provided on behalf of the applicant.

The proposed provision of on-site parking is considered to be sufficient to effectively service the proposed development.

Construction work will generate some noise, however through a condition of consent limiting the working hours and available legislative provisions, such impact may be managed to avoid unreasonable impact in the neighbourhood. There will be no ongoing significant noise impacts expected as a result of the development.

It is considered that the proposed development will not result in any significant adverse social or economic impacts. The social and economic impact of the development is expected to be positive and will result in a material public benefit to the community by providing additional residential accommodation for local residents.

Overall, the likely impacts of the proposal have been assessed as being reasonable and no matters of significant concern with the development have been identified.

- **Section 4.15 (1) (c) – Suitability of the Site**

The proposed development is an acceptable “fit” in the locality and the existing attributes of the site are considered to be conducive to the development. There are no legislative, physical, servicing or environmental constraints to prevent the development. Other residential dwellings are located in the area. It is felt that the proposed development is appropriate for the setting in that the proposed dwelling is sympathetic to the streetscape and compatible with existing neighbouring residential land uses.

The site is considered to be suitable for the proposed development.

- **Section 4.15 (1) (d) – Public Submissions**

A total of two (2) submissions were originally received from the public. Details of the community consultation undertaken is included in Section 4 of this report. One submission, as explained above, is expected to be withdrawn by the time Council consider this Report.

- **Section 4.15 (1) (e) – Public Interest**

No negative public interest matters have been identified in respect of this proposal. The proposal will strengthen and expand on the type of residential accommodation available within the community. The proposed development is considered to be in the public interest.

4. REFERRALS & SUBMISSIONS

No legislated agency concurrence or referral requirements were applicable in respect of this proposal.

4.1 Community Consultation

The application was on public exhibition from 17 March 2023 to 31 March 2023. The exhibition period included:

- Exhibition on Council's website with a hard copy of the application also made accessible at Council's Administration Building.
- Correspondence sent to 25 neighbouring properties advising of the development application.

The following describes the make up of the two (2) submissions.

- One (1) written submissions from an adjoining property (expected to be withdrawn prior to Council considering this Report)
- One (1) written submission from a property across the road.

A summary of the issues raised in the submission, together with staff comments, are outlined in Table 3 and considered in more detail below.

Table 3: Summary of Submissions

ISSUES	COMMENTS
1. Privacy concerns from rear deck	Council agrees that a person sitting on a chair on the rear deck may be able to see into adjoining rear property without standing. To reduce this likelihood, the Applicant has agreed to replace the existing 1.5 metre high metal boundary fencing with new 1.8 metre high Colorbond metal boundary fencing which should resolve the complaint.
2. Stormwater disposal	An amended plan, dated 13 June 2023 has been submitted showing that the proposed stormwater drainage system will not cause any adverse impacts on adjoining and adjacent properties. Following a phone conversation with the adjoining owner, their initial stormwater drainage concerns of have now been addressed satisfactorily and the objector has indicated that he will withdraw his submission as soon as he has reviewed the amended drainage plans. Any official notification received by Council of the withdrawal of the submission, will be tabled at the Council Meeting.
3. Dwelling will be used as a "boarding house"	This is incorrect. The proposal is for a Class 1a single dwelling, not a boarding house.
4. Decrease in property values	This is a subjective judgement and is not a planning consideration. No evidence has been submitted from a Licensed Land Valuer to justify this assertion. In the circumstances of this application, this issue has not been identified as a valid planning consideration.

Specific comments in respect to each of the issues raised are as follows:

- **Issue 1**

The Applicant has agreed to replace the existing 1.5 metre high metal boundary fencing with a new 1.8 metre high metal boundary fence on all boundaries. As far as the rear boundary fence is concerned, a person **sitting** on the rear deck will now not be able to see directly into the rear of adjoining and adjacent premises.

- **Issue 2**

Condition 16 of the Development Consent will ensure that all roofwater is disposed of in such a manner that it does not cause a nuisance to adjoining and adjacent premises.

Condition 16 states as follows:

- “Roof water is to be disposed of;*
a) By piping to the street gutter; or
b) To a rainwater tank and then via the overflow to the street gutter”

The adjoining property owner who has raised the issue of stormwater disposal has stated that his property is located *“on the downhill side of this application”* and *“current issue experienced from two adjoining lots is every time of heavy rainfall my rear room fills with water”*.

An amended plan has been submitted showing that the proposed stormwater drainage system will not cause any adverse impacts on adjoining and adjacent properties. Following a phone conversation with the adjoining owner, their initial stormwater drainage concerns of have now been addressed satisfactorily and the objector has indicated that he will withdraw his submission as soon as he has reviewed the amended drainage plans. Any official notification received by Council of the withdrawal of the submission, will be tabled at the Council Meeting.

- **Issue 3**

There is nothing in the Statement of Environmental Effects to suggest that the dwelling will be used as a “boarding house”. The Dictionary in the Cobar Local Environmental Plan 2012 defines a “boarding house” as follows:

- boarding house*** means a building or place—
(a) that provides residents with a principal place of residence for at least 3 months, and
(b) that contains shared facilities, such as a communal living room, bathroom, kitchen or laundry,
and
(c) that contains rooms, some or all of which may have private kitchen and bathroom facilities, and
(d) used to provide affordable housing, and
(e) if not carried out by or on behalf of the Land and Housing Corporation—managed by a registered community housing provider,
but does not include backpackers’ accommodation, co-living housing, a group home, hotel or motel accommodation, seniors housing or a serviced apartment.

The floor plan of the proposed dwelling does not have any of the requirements of (a), (b) or (c) above to be considered a “boarding house”. It is clearly a Class 1a single dwelling to be used as intergenerational Aboriginal housing.

- **Issue 4**

An alleged decrease in property value as a result of the development is a subjective judgement that is not based on any evidence from a Licensed Land Valuer. It is not a planning consideration.

5. **CONCLUSION**

In conclusion, it is submitted that the proposed development is worthy of support on the basis of being:

- Acceptable in terms of the matters for consideration listed in Section 4.15 of the *EP & A Act 1979*.
- The matters raised in the public submissions have been considered and concerns raised are not considered to be sufficient to warrant refusal of the application.
Note: Relevant control measures have been included as draft conditions to mitigate potential neighbourhood impacts.
- Permissible with consent under the Land Use Table of the *Cobar LEP 2012* for the R2 Low Density Residential Zone.
- Consistent with one of the “Objectives” of the R2 Low Density Residential Zone.
- Consistent with two of the “Aims” of the *Cobar LEP 2012*.
- Unlikely to cause any unreasonable impacts in the locality.
- Acceptable in terms of public interest considerations
- Proposed to be conducted on a site suitable for the development.
- Consistent with the goals for the region and beneficial towards retaining Cobar as a healthy and cohesive community, of the Cobar Shire Local Strategic Planning Statement (adopted 28 May 2020) and Far West Regional Plan.

It should also be noted that the Applicant has chosen to submit a BASIX Certificate for the proposed dwelling notwithstanding that BASIX Certificates are not a statutory requirement for Manufactured Homes as they are determined under the Local Government Act 1993 and associated Regulation and not under the Environmental Planning and Assessment Act 1979.

6. **RECOMMENDATION**

That Development Application No. 23/013 for a single storey Manufactured Home and Associated Decks and Carport at Lot 37 in DP860711 being 11 James Place, Cobar be APPROVED pursuant to Section 4.16 (1) (a) of the *EP & A Act 1979* subject to the draft conditions of consent attached to this Report at Attachment A.

The following attachments are provided:

- Annexure A: Draft Conditions of Consent
- Annexure B: Documents listed in Condition No. 1 of the draft Conditions of Consent
- Annexure C: Response to Submissions from Applicant

Assessing Officer:

Ralph Tambasco

Date

DRAFT CONDITIONS OF CONSENT

- 1) The development must be carried out in substantial accordance with the documents listed below, except where amended by other conditions of this consent.
 - Architectural Drawings prepared by Thomas Building Design, Project No: 220382-Drawings A00 to A16:
 - Cover Sheet, dated 13 June 2023
 - Site Plan, dated 13 June 2023
 - Floor Plan dated 13 June 2023
 - Elevations dated 13 June 2023
 - Section/Front Elevation dated 13 June 2023
 - Roof Plan dated 13 June 2023
 - Drainage Plan dated 13 June 2023
 - Landscaping Plan dated 13 June 2023
 - BASIX Specifications dated 13 June 2023
 - BASIX Certificate 1370597S dated 24 May 2023
 - Finishes Schedule-Internal dated 13 June 2023
 - Finishes Schedule-External dated 24 May 2023
 - Kitchen Details dated 24 May 2023
 - Bath 1 Details dated 24 May 2023
 - Bath 2 Details dated 24 May 2023
 - Ensuite/WIR Details dated 24 May 2023
 - Laundry/Linen Details dated 24 May 2023
 - Storage Fitout Details dated 24 May 2023
 - Statement of Environmental Effects, dated 8 March 2023, pages 1 - 23.
- 2) In the event of any inconsistency between condition of this consent and documents referred to above the conditions of this consent prevail.
- 3) No nuisance or interference with the amenity of the area is to be created by reason of any process or operation on the premises causing the emission of noise, dust, smoke or any polluted discharge whatsoever.
- 4) That construction work on the site must only be carried out between the hours of 7.00am and 8.00pm, Monday to Saturday inclusive and 8.00am to 8.00pm on Sundays or Public Holidays.
- 5) All external lighting is to be positioned and directed so as to prevent the intrusion of light to the adjoining premises.
- 6) This development consent lapses unless building, engineering or construction work relating to the development is physically commenced on land to which the consent applies before the date that is five (5) years from when this consent operates.
- 7) The applicant must implement all practicable measures to prevent or minimise harm to the environment during the construction and operation of the development.
- 8) The construction of the Manufactured Home and Decks, the subject of this development consent, must not commence until an application pursuant to Section 68 of the Local Government Act 1993 has been submitted to Council.

Note: This application must be made on the NSW Planning Portal. Council encourages you to initiate your Section 68 application via the relevant Development Application (DA) service,

accessible from your NSW Planning Portal account. In doing so, this will enable your DA information to flow through to the nominated certificate application.

In addition, the Section 68 case will be linked with the DA case allowing you to access required documents and other application information. In order to do this, you will need to click on 'Request Certificate' button from the DA application.

- 9) The construction of the Carport, the subject of this development consent, **MUST NOT** commence until:
- a) A Construction Certificate has been issued.
 - b) A Principal Certifying Authority has been appointed.
 - c) A notice of intention to commence work has been issued to Council as the consent authority.

Note: *This application must be made on the NSW Planning Portal. Council encourages you to initiate your Construction Certificate (CC) application via the relevant Development Application (DA) service, accessible from your NSW Planning Portal account. In doing so, this will enable your DA information to flow through to the nominated certificate application. . In order to do this, you will need to click on 'Request Certificate' button from the DA application.*

In addition, the CC case will then be linked with the DA case allowing you to access required documents and other application information.

- 10) All plumbing and drainage (water supply, sanitary plumbing and drainage, stormwater drainage and hot water supply) are to comply with the *Plumbing and Drainage Act 2011*.
- 11) The rainwater storage tank overflow is to be connected and piped to the street gutter.
- 12) Appropriate site security fencing shall be erected to restrict unauthorised access to the construction work site.
- 13) Prior to the issue of a Completion Certificate, the applicant must provide to Council written advice that the development has been finalised relative to the *Plumbing and Drainage Act 2011*, including:
- Plumbing and drainage work notifications
 - Inspections of plumbing and drainage work, and
 - Supply of certificates and plans.
- 14) The development must be carried out in general accordance with relevant requirements of *Managing Urban Stormwater: Soils and Construction (4th Edition, Landcom 2004)*, commonly referred to as the "Blue Book".
- 15) Landscaping is to be completed to the satisfaction of Council. All landscaping to consist of well advanced trees and shrubs. Landscaping to be maintained in perpetuity to the satisfaction of Council.
- 16) Any fill associated with earthworks to facilitate construction of the concrete floor slab of the proposed double carport should be contained within the footprint of the building and is not to permanently change existing ground levels along the boundaries of the property.
- 17) Roof water is to be disposed of;
- a) By piping to the street gutter; or
 - b) To a rainwater tank and then via the overflow to the street gutter
- 18) Off street car parking area to be sealed with hard standing, all weather material to the requirements of Council and to be maintained at all times.
- 19) The developer is to meet the cost of and be responsible for the construction of vehicular entrances in accordance with Council's standards.

- 20) The use or occupation of the subject premises is not to commence until such time as the terms of Development Consent have been complied with, to the satisfaction of Council and a Completion Certificate issued.
- 21) No nuisance or interference with the amenity of the area is to be created by reason of any process or operation on the premises causing the emission of noise, dust, smoke or any polluted discharge whatsoever.
- 22) The applicant must ensure that all obligations under the *Building and Construction Industry Long Service Payments Act 1986* have been satisfied prior to commencing any development on the site. A Section 68 Approval cannot be issued until any required Long Service Levy payable under the above Act has been paid
- 23) **Other Approvals:** Carry out water, sewer and stormwater drainage works.

Reasons for the Imposition of the Conditions

- 1) To ensure the proposed development:
 - achieves the objects of the *EP & A Act 1979*;
 - complies with the provisions of all relevant environmental planning instruments.
- 2) To ensure the protection of the amenity of land adjoining and in the locality of the proposed development.
- 3) To minimise any potential adverse environmental, social or economic impacts of the proposed development.
- 4) To ensure the development does not conflict with the public interest.
- 5) To ensure the protection of public and environmental health.
- 6) To provide a safe and healthy environment for the occupiers of the premises.

DOCUMENTS LISTED IN DRAFT CONDITON No. 1

- 1) Architectural Plans prepared by Thomas Building Design dated 24 May 2023 and 13 June 2023
- 2) Statement of Environmental Effects (SoEE) dated 8 March 2023, pages 1-23.

RESPONSE TO SUBMISSIONS FROM APPLICANT

DRAFT CONDITIONS OF CONSENT

- 1) The development must be carried out in substantial accordance with the documents listed below, except where amended by other conditions of this consent.
 - Architectural Drawings prepared by Thomas Building Design, Project No: 220382-Drawings A00 to A16:
 - Cover Sheet, dated 13 June 2023
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 - Storage Fitout Details dated 24 May 2023
 - Statement of Environmental Effects, dated 8 March 2023, pages 1 - 23.
- 2) In the event of any inconsistency between condition of this consent and documents referred to above the conditions of this consent prevail.
- 3) No nuisance or interference with the amenity of the area is to be created by reason of any process or operation on the premises causing the emission of noise, dust, smoke or any polluted discharge whatsoever.
- 4) That construction work on the site must only be carried out between the hours of 7.00am and 8.00pm, Monday to Saturday inclusive and 8.00am to 8.00pm on Sundays or Public Holidays.
- 5) All external lighting is to be positioned and directed so as to prevent the intrusion of light to the adjoining premises.
- 6) This development consent lapses unless building, engineering or construction work relating to the development is physically commenced on land to which the consent applies before the date that is five (5) years from when this consent operates.
- 7) The applicant must implement all practicable measures to prevent or minimise harm to the environment during the construction and operation of the development.
- 8) The construction of the Manufactured Home and Decks, the subject of this development consent, must not commence until an application pursuant to Section 68 of the Local Government Act 1993 has been submitted to Council.

Note: This application must be made on the NSW Planning Portal. Council encourages you to initiate your Section 68 application via the relevant Development Application (DA) service,

accessible from your NSW Planning Portal account. In doing so, this will enable your DA information to flow through to the nominated certificate application.

In addition, the Section 68 case will be linked with the DA case allowing you to access required documents and other application information. In order to do this, you will need to click on 'Request Certificate' button from the DA application.

- 9) The construction of the Carport, the subject of this development consent, **MUST NOT** commence until:
- a) A Construction Certificate has been issued.
 - b) A Principal Certifying Authority has been appointed.
 - c) A notice of intention to commence work has been issued to Council as the consent authority.

Note: This application must be made on the NSW Planning Portal. Council encourages you to initiate your Construction Certificate (CC) application via the relevant Development Application (DA) service, accessible from your NSW Planning Portal account. In doing so, this will enable your DA information to flow through to the nominated certificate application. . In order to do this, you will need to click on 'Request Certificate' button from the DA application.

In addition, the CC case will then be linked with the DA case allowing you to access required documents and other application information.

- 10) All plumbing and drainage (water supply, sanitary plumbing and drainage, stormwater drainage and hot water supply) are to comply with the *Plumbing and Drainage Act 2011*.
- 11) The rainwater storage tank overflow is to be connected and piped to the street gutter.
- 12) Appropriate site security fencing shall be erected to restrict unauthorised access to the construction work site.
- 13) Prior to the issue of a Completion Certificate, the applicant must provide to Council written advice that the development has been finalised relative to the *Plumbing and Drainage Act 2011*, including:
- Plumbing and drainage work notifications
 - Inspections of plumbing and drainage work, and
 - Supply of certificates and plans.
- 14) The development must be carried out in general accordance with relevant requirements of *Managing Urban Stormwater: Soils and Construction* (4th Edition, Landcom 2004), commonly referred to as the "Blue Book".
- 15) Landscaping is to be completed to the satisfaction of Council. All landscaping to consist of well advanced trees and shrubs. Landscaping to be maintained in perpetuity to the satisfaction of Council.
- 16) Any fill associated with earthworks to facilitate construction of the concrete floor slab of the proposed double carport should be contained within the footprint of the building and is not to permanently change existing ground levels along the boundaries of the property.
- 17) Roof water is to be disposed of;
- a) By piping to the street gutter; or
 - b) To a rainwater tank and then via the overflow to the street gutter
- 18) Off street car parking area to be sealed with hard standing, all weather material to the requirements of Council and to be maintained at all times.
- 19) The developer is to meet the cost of and be responsible for the construction of vehicular entrances in accordance with Council's standards.

- 20) The use or occupation of the subject premises is not to commence until such time as the terms of Development Consent have been complied with, to the satisfaction of Council and a Completion Certificate issued.
- 21) No nuisance or interference with the amenity of the area is to be created by reason of any process or operation on the premises causing the emission of noise, dust, smoke or any polluted discharge whatsoever.
- 22) The applicant must ensure that all obligations under the *Building and Construction Industry Long Service Payments Act 1986* have been satisfied prior to commencing any development on the site. A Section 68 Approval cannot be issued until any required Long Service Levy payable under the above Act has been paid
- 23) **Other Approvals:** Carry out water, sewer and stormwater drainage works.

Reasons for the Imposition of the Conditions

- 1) To ensure the proposed development:
 - achieves the objects of the *EP & A Act 1979*;
 - complies with the provisions of all relevant environmental planning instruments.
- 2) To ensure the protection of the amenity of land adjoining and in the locality of the proposed development.
- 3) To minimise any potential adverse environmental, social or economic impacts of the proposed development.
- 4) To ensure the development does not conflict with the public interest.
- 5) To ensure the protection of public and environmental health.
- 6) To provide a safe and healthy environment for the occupiers of the premises.

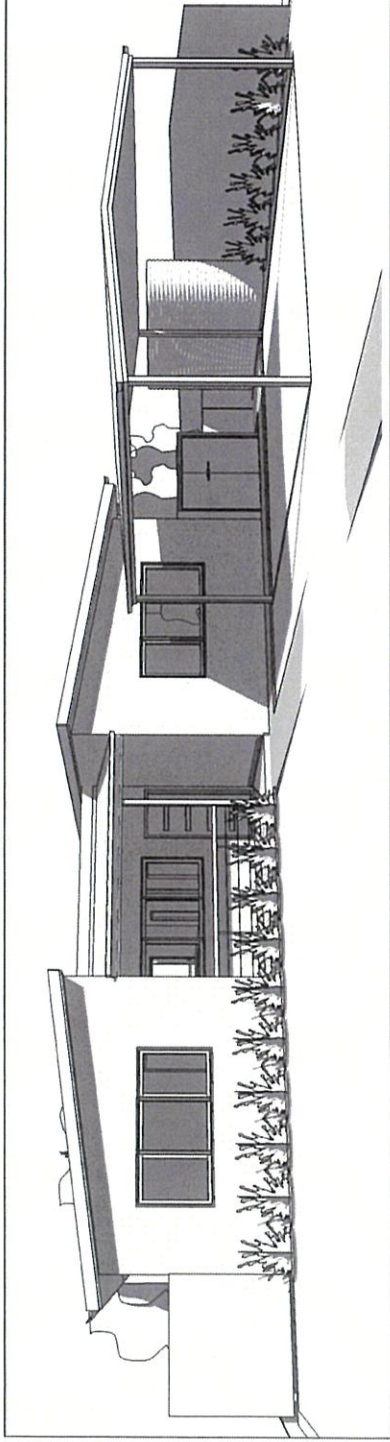
DOCUMENTS LISTED IN DRAFT CONDITION No. 1

- 1) Architectural Plans prepared by Thomas Building Design dated 24 May 2023 and 13 June 2023
- 2) Statement of Environmental Effects (SoEE) dated 8 March 2023, pages 1-23.

CROWN DEVELOPMENT APPLICATION / SECTION 68 DOCUMENTATION

PROPOSED TRANSPORTABLE DWELLING

11 JAMES PLACE, COBAR



SITE DETAILS	
SITE CLASSIFICATION	S
ACID SULPHATE SOILS CLASS	N/A
MINES SUBSIDENCE	N/A
FLOOD PLANNING LEVEL	N/A
LAND ZONING	R2
MAX FSR	N/A
MAX BUILDING HEIGHT	N/A

NOTES	
PLANS TO BE READ IN CONJUNCTION WITH THE FOLLOWING	
BASIX CERTIFICATE AND THERMAL COMFORT SPECIFICATIONS PREPARED BY BUILDING SUSTAINABILITY ASSESSMENTS DATED FEBRUARY 2023	
STRUCTURAL DESIGN DRAWINGS PREPARED BY THOMAS CONSULTING - DRAWING SET 220382 REVISION A	

SHEET INDEX

DRAWING No.	SHEET TITLE	REVISION	DATE	SHEET No.
A00	COVER SHEET	N	13/06/23	1/11
A01	SITE PLAN	N	13/06/23	2/11
A02	FLOOR PLAN	N	13/06/23	3/11
A03	ELEVATIONS	N	13/06/23	4/11
A04	SECTION / FRONT ELEVATION	N	13/06/23	5/11
A05	ROOF PLAN	N	13/06/23	6/11
A06	DRAINAGE	N	13/06/23	7/11
A07	LANDSCAPING	N	13/06/23	8/11
A08	BASIX SPECIFICATIONS	N	13/06/23	9/11
A09	FINISHES SCHEDULE - INTERNAL	N	13/06/23	10/11
A10	FINISHES SCHEDULE - EXTERNAL	N	13/06/23	11/11

LOCATION MAP

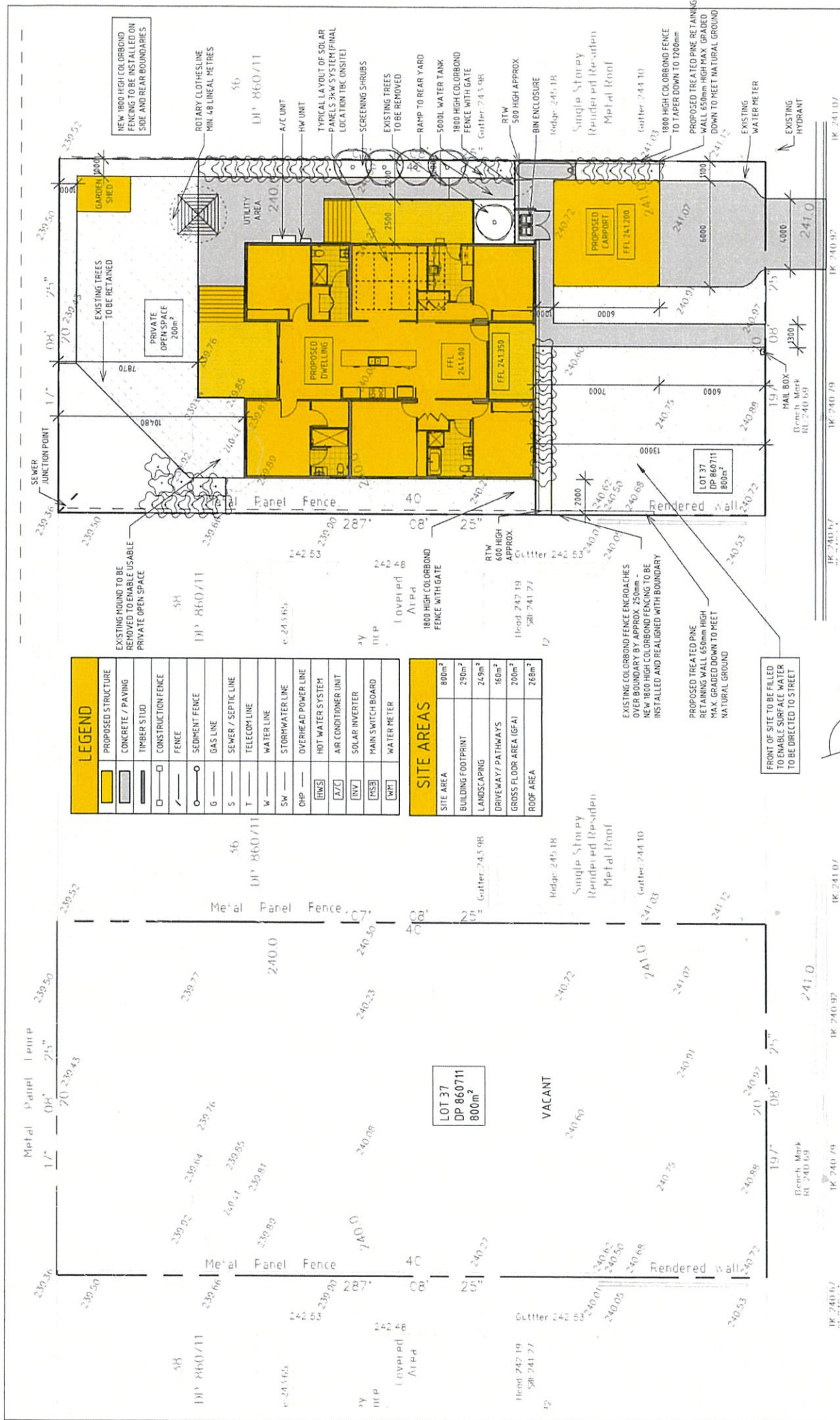


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 14 BARKER ST, COBAR NSW 2880
 TEL: 08 9071 1111
 WWW.THOMASNSW.COM.AU

REV	DESCRIPTION	DATE	PROJECT
N	AMENDMENTS TO DRAINAGE	13/06/23	CLIENT
M	AMENDMENTS TO DRAINAGE	09/06/23	11 JAMES PLACE, COBAR
L	AMENDMENTS	24/05/23	PROPOSED DWELLING

DESIGNED	DRAWN	CHECKED	SHEET TITLE	COVER SHEET
BA	BA	BA	PROJECT No	DRAWING No
DATE	REVISION	SHEET SIZE	220382	A00
13/06/23	N	A3	PROJECT No	SHEET No
			220382	1/11

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LEGEND	
[Symbol]	PROPOSED STRUCTURE
[Symbol]	CONCRETE / PAVING
[Symbol]	TIMBER STUD
[Symbol]	CONSTRUCTION FENCE
[Symbol]	FENCE
[Symbol]	SEDIMENT FENCE
[Symbol]	GAS LINE
[Symbol]	SEWER / SEPTIC LINE
[Symbol]	TELECOM LINE
[Symbol]	WATER LINE
[Symbol]	STORMWATER LINE
[Symbol]	OVERHEAD POWER LINE
[Symbol]	HOT WATER SYSTEM
[Symbol]	AIR CONDITIONER UNIT
[Symbol]	SOLAR INVERTER
[Symbol]	MAIN SWITCH BOARD
[Symbol]	WATER METER

SITE AREAS	
SITE AREA	800m ²
BUILDING FOOTPRINT	290m ²
LANDSCAPING	245m ²
DRIVEWAY / PATHWAYS	160m ²
GROSS FLOOR AREA (GFA)	200m ²
ROOF AREA	268m ²

SITE PLAN JAMES PLACE

2 1:200

SITE PLAN JAMES PLACE

1 1:200

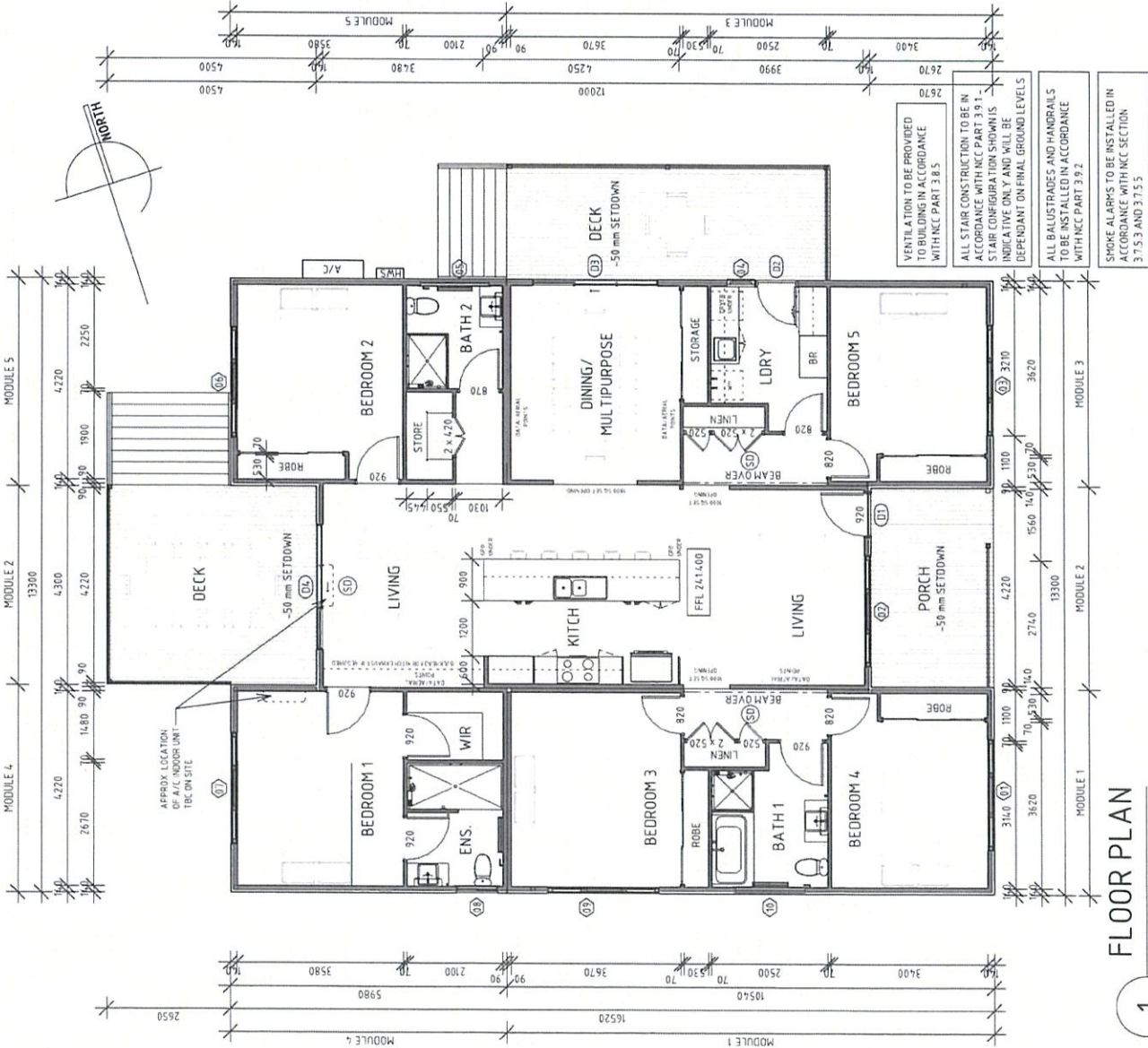
THOMAS
BUILDING DESIGN

THOMAS AND ASSOCIATES CONSULTING PTY LTD
111 Macquarie Street, Suite 1000, Sydney NSW 2000
www.thomasandassociates.com.au

PROJECT: 11 JAMES PLACE, COBAR
DATE: 13/06/23
DRAWING No: 220382
SHEET No: A01
SHEET TITLE: SITE PLAN

CLIENT: CORRECTIVE SERVICES INDUSTRIES
SITE ADDRESS: 11 JAMES PLACE, COBAR
PROJECT: PROPOSED DWELLING

REV	DESCRIPTION	DATE
N	AMENDMENTS TO DRAINAGE	13/06/23
M	AMENDMENTS TO DRAINAGE	09/06/23
L	AMENDMENTS	24/05/23



BUILDING AREAS

FLOOR AREA	200.3m ²
PORCH AREA	6.6m ²
DECK AREA	36.9m ²
CARPORT AREA	36.0m ²
TOTAL AREA	279.8m ²

LEGEND

	TIMBER STUD
	HOT WATER SYSTEM
	AIR CONDITIONER UNIT
	SOLAR INVERTER
	ELECTRICAL DISTRIBUTION BOARD
	SMOKE DETECTOR
	CEILING FAN

WINDOW SCHEDULE

ID	QTY	HEIGHT	WIDTH	FRAME TYPE	WINDOW TYPE	GLAZING	COMMENTS
01	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
02	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
03	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
04	1	880	580	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
05	1	600	1500	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65
06	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
07	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
08	1	900	900	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65
09	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
10	1	600	1500	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65

EXTERIOR DOOR SCHEDULE

ID	QTY	HEIGHT	WIDTH	FRAME TYPE	DOOR TYPE	GLAZING	COMMENTS
01	1	2040	920	TIMBER	SWINGING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
02	1	2040	920	TIMBER	SWINGING	N/A	N/A
03	1	2100	2100	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65
04	1	2100	2100	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65

FIXTURE SPECIFICATIONS

FIXTURE	TYPE	MODEL
HOT WATER SYSTEM	SOLAR WITH ELECTRIC BOOST	RHEM 3.6kW MODEL No. S1325 WITH 3 x "NPT 200" SOLAR COLLECTORS MOUNTED ON ROOF
AIR CONDITIONING	SPLIT SYSTEM REVERSE CYCLE TO LIVING AND MAIN BED	HITACHI MODEL No. SPX-WKT2
PHOTOVOLTAIC SYSTEM	3kW SYSTEM	TRINA OR JINKO PANELS WITH A FRONIUS PRIMO INVERTER
OVEN	ELECTRIC	ROSCHE G54050 OR SIMILAR
COOKTOP	ELECTRIC	CHEF IHC844BA OR SIMILAR
EXHAUST FANS	EXTERNALLY VENTED MECHANICAL EXHAUST FAN	INSTALLED IN BATHROOM, LAUNDRY AND KITCHEN (RANGE HOOD)

CLADDING & LINING SCHEDULE

TYPE	PRODUCT
WALLS - INTERNAL	18mm GYPROC SUPERGIEK
WALLS - INTERNAL WET AREAS	6mm VILLABOARD
WALLS - EXTERNAL	50mm HEBEL CLADDING PANEL WITH RENDERED FINISH
ROOF	COLORBOND CUSTOM ORB ROOF SHEETING / COLORBOND TRIMTEK SHEETING WHERE NOTED
SUB FLOOR	TIMBER "DOG BOARDS" TO BE FIXED TO OUTSIDE OF SUBFLOOR
FLOORING - INTERNAL	19mm YELLOW TONGUE PARTELEBOARD
FLOORING - EXTERNAL	TREATED PINE DECKING OR COMPOSITE DECKING BOARD

FLOOR PLAN

1 : 100

THOMAS BUILDING DESIGN

THOMAS AND ASSOCIATES CONSULTING PTY LTD
111 BARRACLOUGH STREET, SYDNEY NSW 1585
www.thomasbd.com.au | 02 9539 1141

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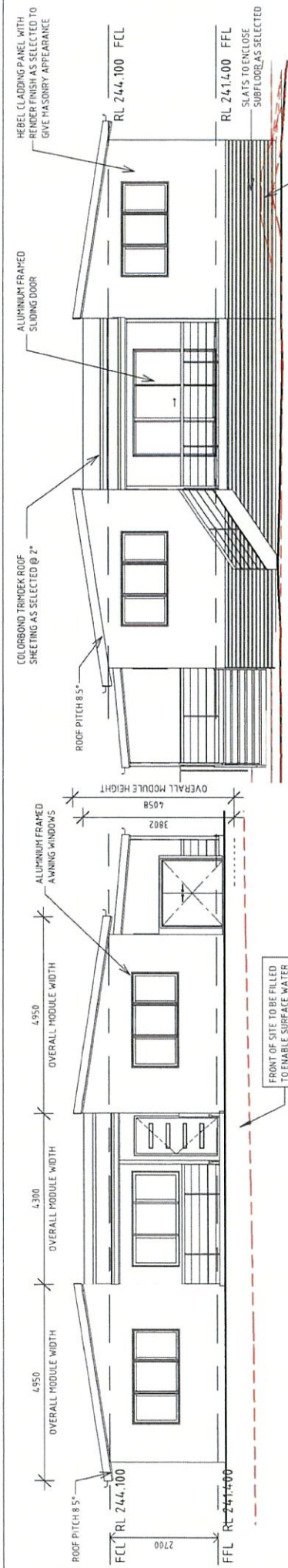
AMENDMENTS TO DRAINAGE

REV	DESCRIPTION	DATE
N	AMENDMENTS TO DRAINAGE	13/06/23
M	AMENDMENTS TO DRAINAGE	09/06/23
L	AMENDMENTS TO DRAINAGE	24/05/23

CLIENT: CORRECTIVE SERVICES INDUSTRIES
SITE ADDRESS: 11 JAMES PLACE, COBAR
PROJECT: PROPOSED DWELLING

DESIGNED: BA
DRAWN: BA
CHECKED: BA

DATE: 13/06/23
REVISION: N
SHEET SIZE: A3
PROJECT No: 220382
DRAWING No: A02
SHEET No: 3/11

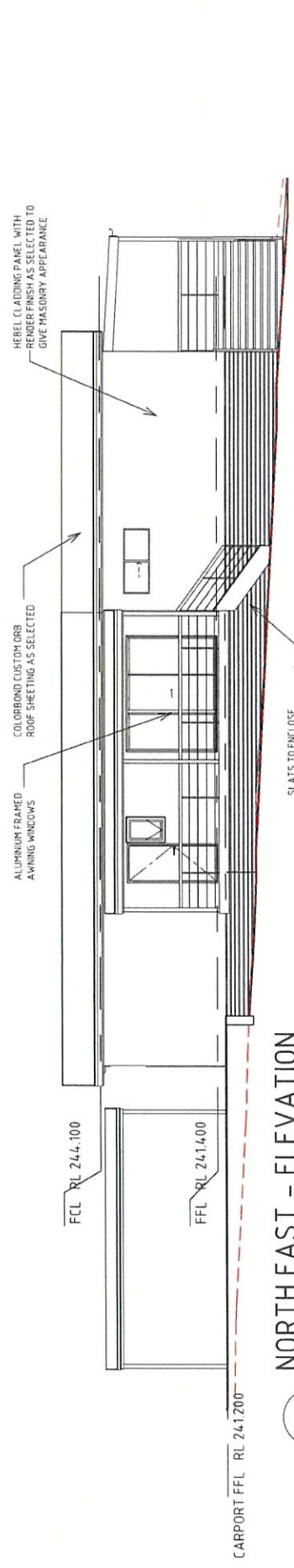


1 SOUTH EAST - ELEVATION

1 : 100

3 NORTH WEST - ELEVATION

1 : 100



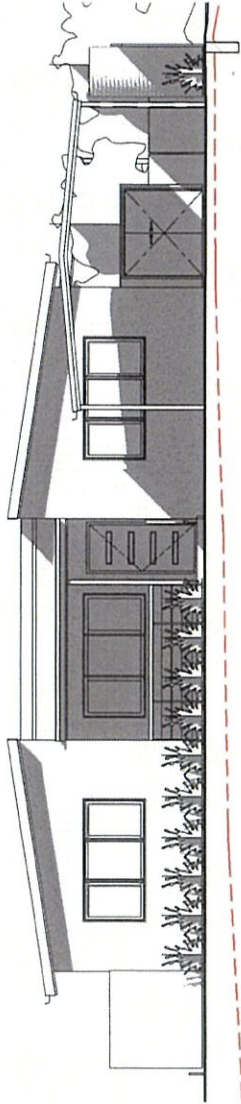
2 NORTH EAST - ELEVATION

1 : 100

4 NORTH EAST - ELEVATION

1 : 100

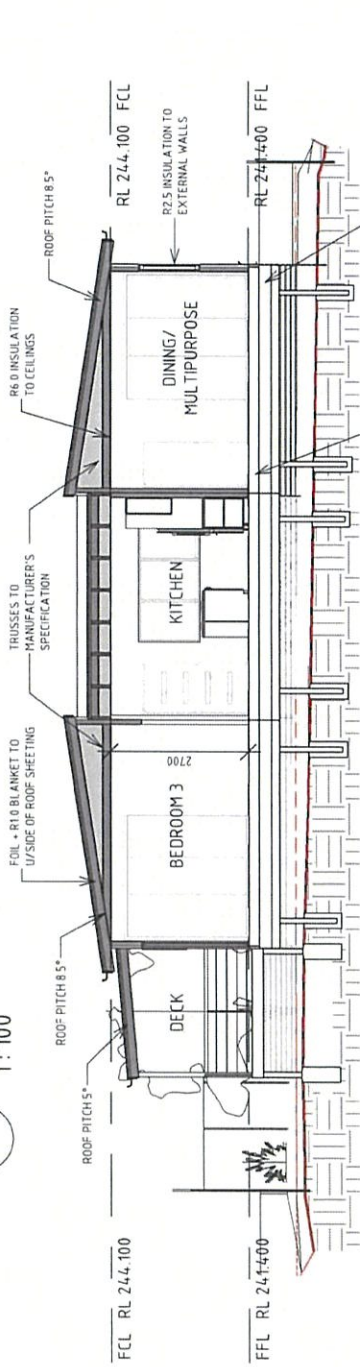
THOMAS BUILDING DESIGN	THOMAS AND ASSOCIATES CONSULTING PTY LTD 111 James Place, Cobarr www.thomasandassociates.com.au		N M L REV	AMENDMENTS TO DRAINAGE AMENDMENTS TO DRAINAGE AMENDMENTS	CLIENT CORRECTIVE SERVICES INDUSTRIES	DESIGNED BA	DRAWN BA	CHECKED BA	SHEET TITLE ELEVATIONS	
	DATE 13/06/23	PROJECT 11 JAMES PLACE, COBARR	SHEET NO. A3	REVISION N	PROJECT NO. 220382	DRAWING NO. A03	SHEET NO. 4/11			
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FRONT - ELEVATION

3

1 : 100

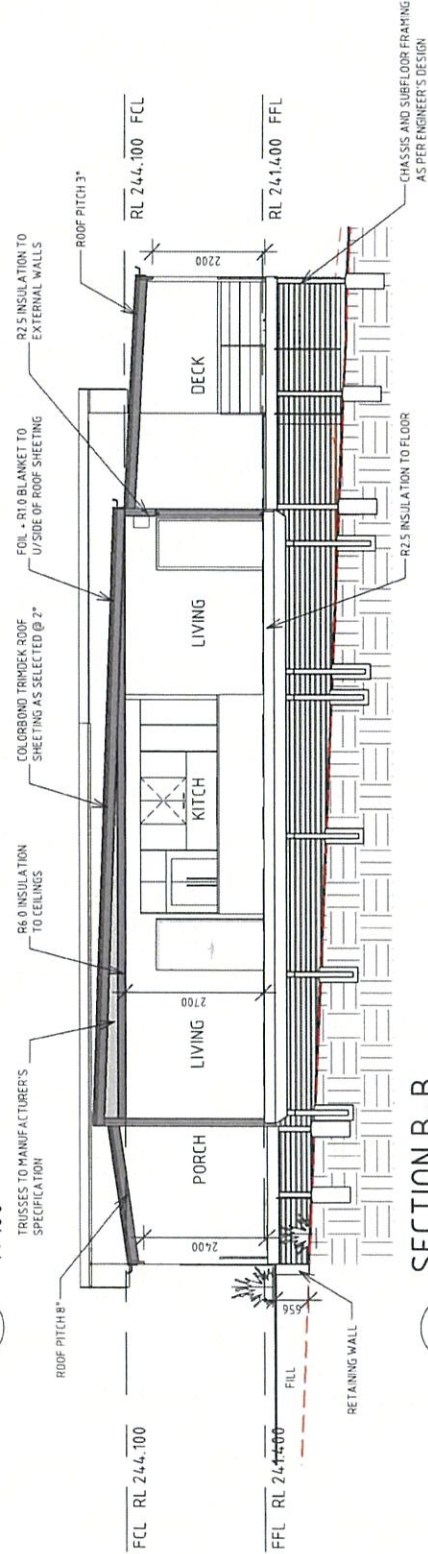


SECTION A-A

A

1 : 100

MIN. SUBFLOOR CLEARANCE TO BE IN ACCORDANCE WITH MCC 3.4.12 AND FIGURE 3.4.3b



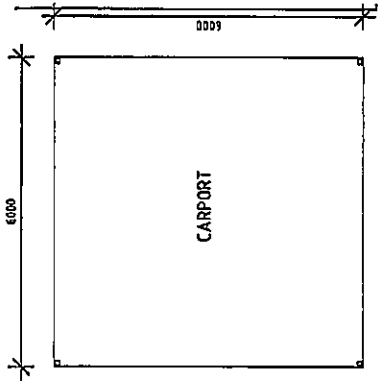
SECTION B-B

B

1 : 100

		THOMAS AND ASSOCIATES CONSULTING ENGINEERS LTD 11 JAMES PLACE, COBAR www.thomasandassociates.co.nz Auckland 06 132 1341		CLIENT 13/06/23 CORRECTIVE SERVICES INDUSTRIES	SHEET TITLE SECTION / FRONT ELEVATION	SHEET No 5/11
		AMENDMENTS TO DRAINAGE AMENDMENTS TO DRAINAGE AMENDMENTS	SITE ADDRESS 11 JAMES PLACE, COBAR PROJECT PROPOSED DWELLING	DRAWN BA	CHECKED BA	PROJECT No 220382
REV L	DATE 24/05/23	DATE 13/06/23	REVISION N	SHEET SIZE A3	PROJECT No 220382	SHEET No 5/11

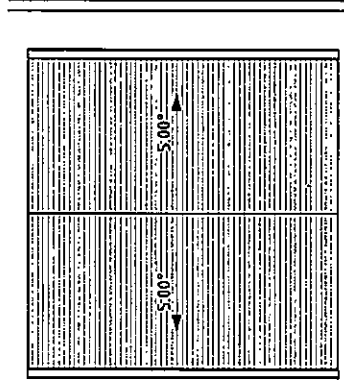
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CARPORIT PLAN

1:100

2



ROOF PLAN - CARPORIT

1:100

3

TYPICAL LAYOUT OF 3KW PHOTOVOLTAIC SYSTEM - FINAL DIMENSIONS AND LOCATION TO BE CONFIRMED BY INSTALLER

5000L RAINWATER TANK

DOWNPIPE LOCATIONS TO BE CALCULATED BY INSTALLER IN ACCORDANCE WITH AS 3500.3

ALL ROOFWATER TO BE DIRECTED TO RAINWATER TANK WITH OVERFLOW TO STREET DRAINAGE VIA CHARGED LINES

COMMERCIAL EAVES GUTTER 185mm DEEP x 200mm WIDE WITH DESIGNATED OVERFLOW TO FRONT OF GUTTER

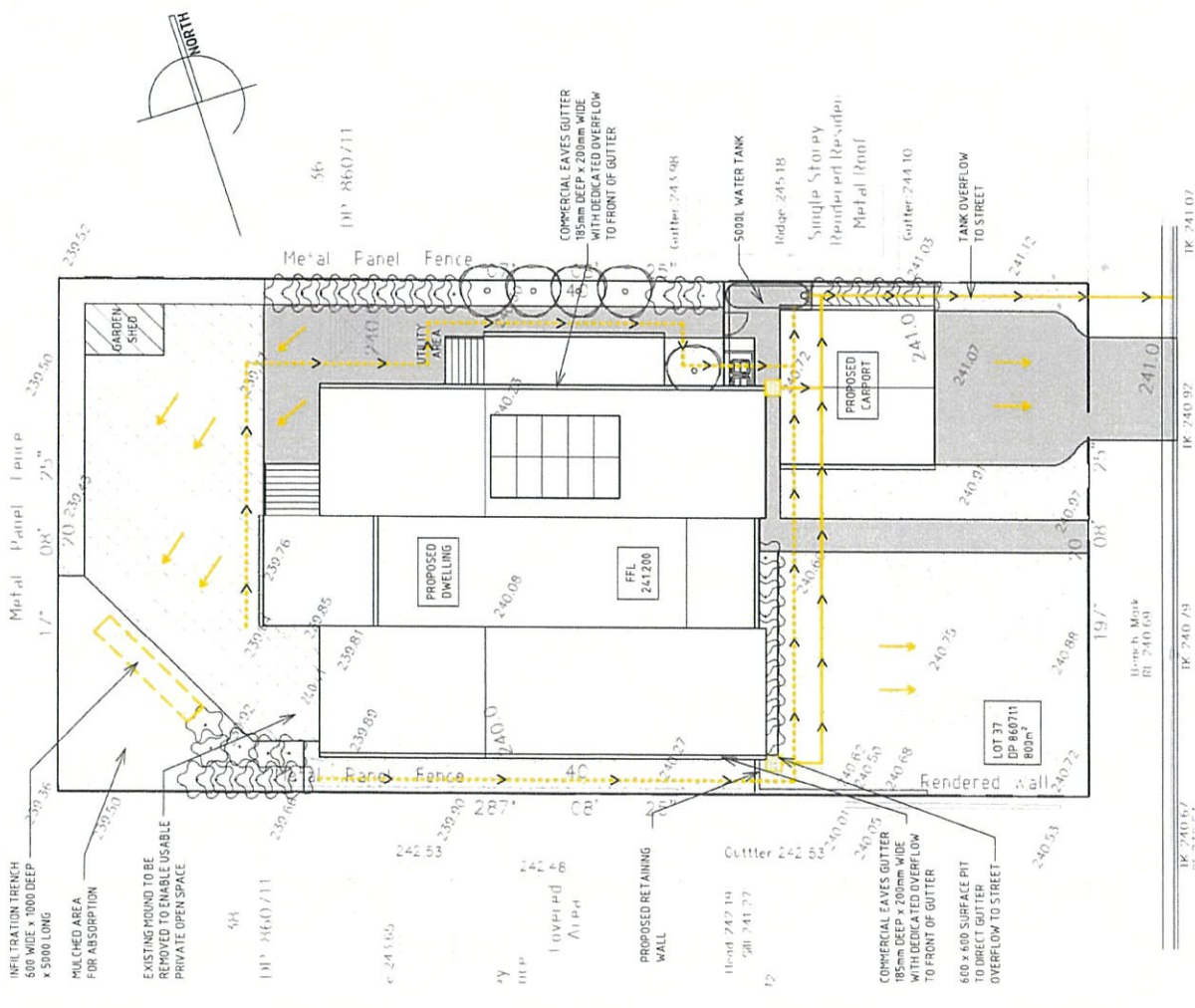
COMMERCIAL EAVES GUTTER 185mm DEEP x 200mm WIDE WITH DESIGNATED OVERFLOW TO FRONT OF GUTTER

ROOF PLAN - DWELLING

1:100

1

THOMAS BUILDING DESIGN	PROJECT TITLE ROOF PLAN		SHEET NO. A05		SHEET NO. 6/11	
	DESIGNED BY BA	DRAWN BY BA	CHECKED BY BA	PROJECT NO. 220382	DRAWING NO. A05	DATE 18/06/23
CLIENT CORRECTIVE SERVICES INDUSTRIES		SITE ADDRESS 11 JAMES PLACE, COBAR		PROJECT PROPOSED DWELLING		DATE 18/06/23
AMENDMENTS TO DRAINAGE AMENDMENTS TO DRAINAGE		DATE 24/05/23		DESCRIPTION AMENDMENTS TO DRAINAGE		DATE 24/05/23
REV L		M		H		REV L
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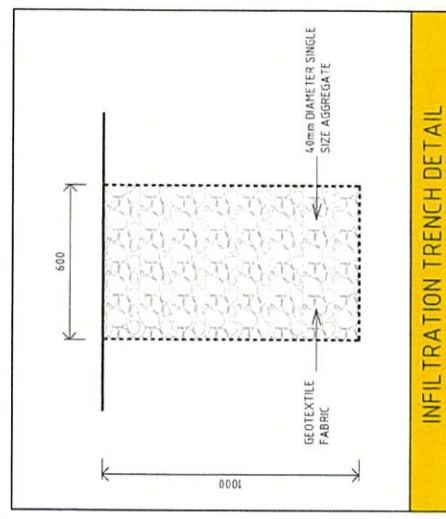
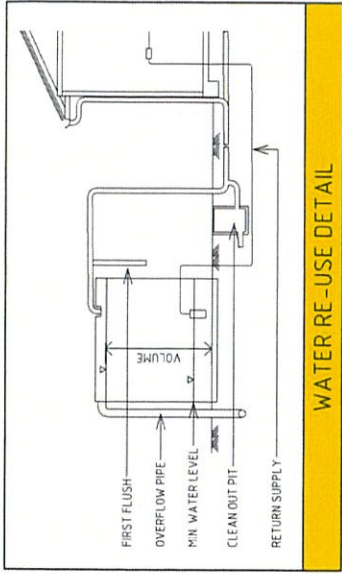
LEGEND	
	RAINWATER TANK
	GRADED DRAIN / DRAINAGE PIT
	DIRECTION OF SURFACE WATER
	ROOF WATER DRAINAGE LINE TO TANK
	TANK OVERFLOW TO STREET SYSTEM
	TURF
	CONCRETE PATHS/DRIVEWAY
	DECOMPOSED GRANITE

DRAINAGE NOTES

DOWNPIPE LOCATION TO BE CALCULATED BY INSTALLER IN ACCORDANCE WITH AS 3500.3

ALL ROOF WATER TO BE DIRECTED TO RAINWATER TANK WITH OVERFLOW TO STREET DRAINAGE SYSTEM VIA CHARGED LINE

DRAINAGE LINES INDICATIVE ONLY AND TO BE CONFIRMED ON SITE BY BUILDER



1 DRAINAGE PLAN JAMES PLACE

1:200



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 www.thomasandassociates.com.au

REV	DESCRIPTION	DATE
N	AMENDMENTS TO DRAINAGE	13/06/23
M	AMENDMENTS TO DRAINAGE	09/06/23
L	AMENDMENTS	24/05/23

CLIENT	PROJECT
CORRECTIVE SERVICES INDUSTRIES	11 JAMES PLACE, COBAR
SITE ADDRESS	PROPOSED DWELLING

DESIGNED	DRAWN	CHECKED	SHEET TITLE
BA	BA	BA	DRAINAGE
DATE	REVISION	SHEET SIZE	DRAWING No
13/06/23	N	A3	A06
PROJECT No	PROJECT No	PROJECT No	SHEET No
220382	220382	220382	7/11

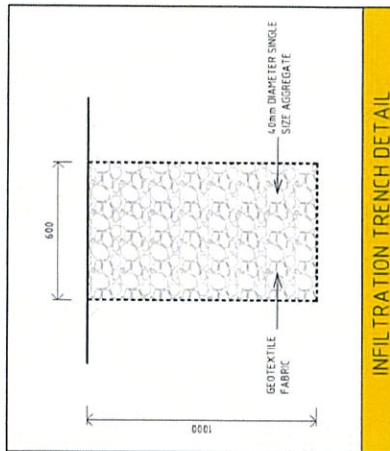
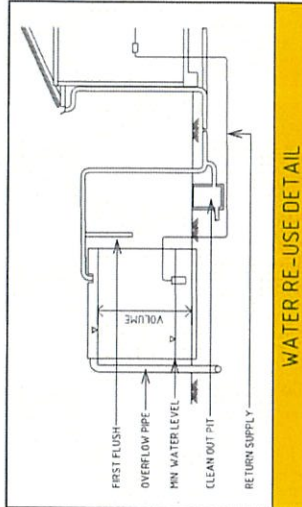
LEGEND	
	RAINWATER TANK
	GRADED DRAIN / DRAINAGE PIT
	DIRECTION OF SURFACE WATER
	ROOF-WATER DRAINAGE LINE TO TANK
	TANK OVERFLOW TO STREET SYSTEM
	TURF
	CONCRETE PATHS/DRIVEWAY
	DE-POSED GRANITE

DRAINAGE NOTES

DOWNSPIPE LOCATION TO BE CALCULATED BY INSTALLER IN ACCORDANCE WITH AS 3599.3

ALL ROOF WATER TO BE DIRECTED TO RAINWATER TANK WITH OVERFLOW TO STREET DRAINAGE SYSTEM VIA CHARGED LINE

DRAINAGE LINES INDICATIVE ONLY AND TO BE CONFIRMED ON SITE BY BUILDER



A.T. Davies
ADAM DAVIES B.E. (Civil) MIE Aust.
 150 Long (Professional) #1418577
 SPEC. (Professional) #1418577
 DATE: 2023.06.13 14:18:02+10:00

DOCUMENT CERTIFICATION:

ISSUE	DESCRIPTION	DRAWN	CHECKED	DATE
A	CONCEPT FOR DA APPROVAL	AD	SN	09/06/23
B	REVISED - Trench depth increased, Gutters Sizes increased	AD	SN	13/06/23

DO NOT SCALE. THIS DRAWING IS NOT TO BE USED WITHOUT CERTIFICATION

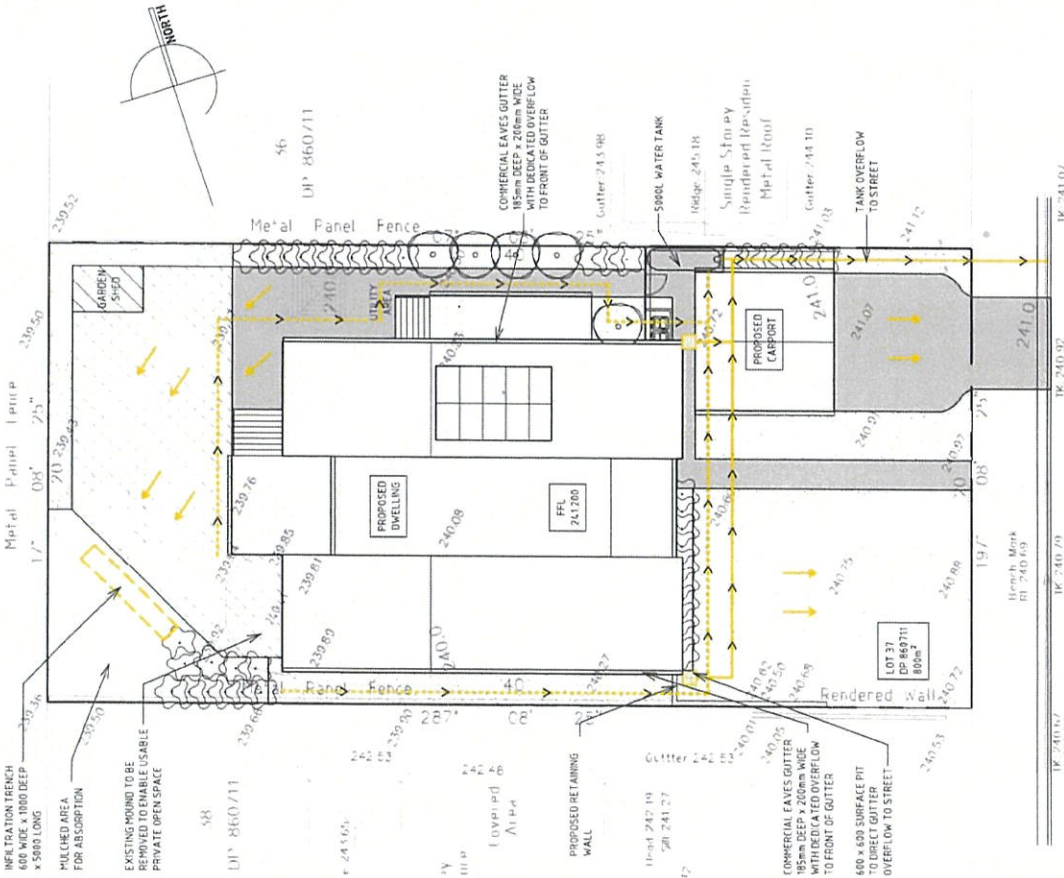
THOMAS
 BUILDING DESIGN

THOMAS
 ENGINEERING

THOMAS AND ASSOCIATES CONSULTING PTY LTD
 114 Barton Street, PO Box 76, Kurri Kurri NSW 2327
 (02) 43371562 - ABN 65 106 192 661 - www.thomas.com.au

CLIENT	CORRECTIVE SERVICES INDUSTRIES	CHECKED	SN	SHEET SIZE	A3
ADDRESS	11 JAMES PLACE, COBAR	DRAWN	AD	DESIGNED	AD
DESCRIPTION	DRAINAGE - CONCEPT				
JOB #	220382				
SHEET #	SW01				

DRAINAGE PLAN JAMES PLACE
 NTS



STORMWATER RUNOFF
11 James Pl, Cobarr NSW 2835, Australia

OUTFLOW FROM EXISTING CATCHMENT FOR 20 YEAR EVENT

EXISTING SITE AREA (M2)
IMPERVIOUS AREA
PERVIOUS AREA

800
800
5

TIME OF CONCENTRATION (mins)

20YR ARI INTENSITY (mm/hr)

1011 =

$C \ 1 \ 10 \ (mm/hr) = 0.1 + 0.0133 * (1011 - 25) =$

$C20 = 1.05 * C \ 1 \ 10 =$

EXISTING OUTFLOW PERVIOUS (l/s) = $C * I * A / 3600 =$

EXISTING OUTFLOW IMPERVIOUS (l/s) = $C * I * A / 3600 =$

MAXIMUM PSD (l/s) FOR THE SITE =

7.65

OUTFLOW FROM DEVELOPED CATCHMENT FOR 20 YEAR EVENT

AREA DIRECTED TO GARDEN
PERVIOUS AREA
IMPERVIOUS AREA

215
52

DEVELOPED OUTFLOW PERVIOUS (l/s) = $C * I * A / 3600 =$

DEVELOPED OUTFLOW IMPERVIOUS (l/s) = $C * I * A / 3600 =$

MAXIMUM DISCHARGE (l/s) REAR DRAINAGE CONTROLS =

3.67

OUTFLOW FROM EXISTING CATCHMENT FOR 100 YEAR EVENT

EXISTING SITE AREA (M2)
IMPERVIOUS AREA
PERVIOUS AREA

800
800
5

TIME OF CONCENTRATION (mins)

100YR ARI INTENSITY (mm/hr)

1011 =

$C \ 1 \ 10 \ (mm/hr) = 0.1 + 0.0133 * (1011 - 25) =$

$C100 = 1.2 * C \ 1 \ 10 =$

EXISTING OUTFLOW PERVIOUS (l/s) = $C * I * A / 3600 =$

EXISTING OUTFLOW IMPERVIOUS (l/s) = $C * I * A / 3600 =$

MAXIMUM PSD (l/s) FOR THE SITE =

19.37

OUTFLOW FROM DEVELOPED CATCHMENT FOR 100 YEAR EVENT

AREA DIRECTED TO GARDEN
PERVIOUS AREA
IMPERVIOUS AREA

215
52

EXISTING OUTFLOW PERVIOUS (l/s) = $C * I * A / 3600 =$

EXISTING OUTFLOW IMPERVIOUS (l/s) = $C * I * A / 3600 =$

DISCHARGE (l/s) REAR GARDEN =

8.79

POTENTIAL GUTTER OVERFLOW (100 YEAR FLOW - 20 YEAR FLOW)
AREA DIRECTED TO REAR GARDEN

ROOF AREA

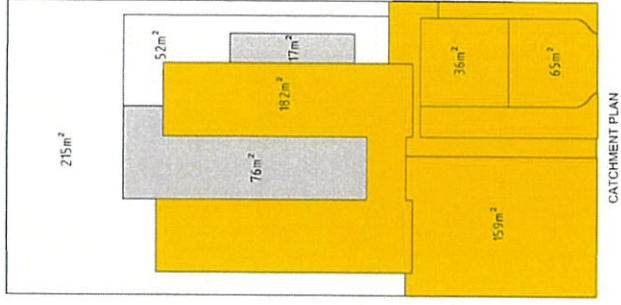
93

FLOW GUTTERS 20 YEAR (l/s) = $C * I * A / 3600 =$

FLOW GUTTERS 100 YEAR (l/s) = $C * I * A / 3600 =$

SURPLUS DISCHARGE (l/s) REAR GARDEN (GUTTER OVERFLOW) =

3.51



Location
11 James Pl, Cobarr NSW 2835, Australia
Latitude: 33.1087788 Longitude: 151.1212121
IPD Design Rational Intensity (mm/h)

Return Period (Years)	ARI (1/Year)	Intensity (mm/h)
1	1.000	1.000
2	0.500	1.000
5	0.200	1.000
10	0.100	1.000
20	0.050	1.000
50	0.020	1.000
100	0.010	1.000
200	0.005	1.000
500	0.002	1.000
1000	0.001	1.000

THOMAS ENGINEERING

THOMAS AND ASSOCIATES CONSULTING PTY LTD
114 Barton Street, PO Box 76, Kurri Kurri NSW 2327
(02) 49371562 - ABN 65 106 192 661 - www.tghomas.com.au

THOMAS BUILDING DESIGN

CLIENT	CORRECTIVE SERVICES INDUSTRIES	ISSUE	DESCRIPTION	DRAWN	CHECKED	DATE
ADDRESS	11 JAMES PLACE, COBAR	A	CONCEPT FOR DA APPROVAL	AD	SN	09/06/23
DESCRIPTION	DRAINAGE - CONCEPT					
JOB #	SHEET #	DESIGNED	DRAWN	CHECKED	SHEET SIZE	
220382	SW02	AD	AD	SN	A3	

DO NOT SCALE. THIS DRAWING IS NOT TO BE USED WITHOUT CERTIFICATION

PLANTING SCHEDULE

ID	QUANTITY	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE WIDTH	POT SIZE
A	5	SYZIGIUM AUSTRALE	LILLY PILLY 'RESILIENCE'	3-4m	1-2m	400mm
B	46	LOMANDRA LONGIFOLIA	SPINY HEAD MAT RUSH	1.2m	1.0m	200mm

PLANTING SPECIFICATIONS

THE INSTALLATION OF ALL PLANTING AS PART OF THE DEVELOPMENT IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND IN ACCORDANCE WITH THE RELEVANT LOCAL GOVERNMENT REQUIREMENTS

PREPARATION

VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT
 LOCATE ALL UNDERGROUND SERVICES (DIAL BEFORE YOU DIG - PHONE: 1800) AND ENSURE NO DAMAGE OCCURS
 COMPLY WITH THE REQUIREMENTS OF THE COUNCIL SITE GUIDELINES IN REFERENCE TO EROSION AND SEDIMENT CONTROL REGULATIONS
 SPRAY WEEDS AND UNWANTED PLANTED MATERIAL WITH APPROVED HERBICIDE WEED KILLER TO ALL LAWN AND GARDEN AREAS TO MANUFACTURE DIRECTIONS
 EXCESS SOILS AND CONTAMINATED SOIL ARE TO BE REMOVED WITHIN THE GUIDELINES OF THE COUNCIL REQUIREMENTS TO APPROVED SITES
 CULTIVATE TO THE MINIMUM DEPTH OF 200MM IN ALL GARDEN AREAS AND 100MM DEPTH IN ALL LAWN AREAS. ADD A CLAY BREAKER TO ALL GARDEN AREAS
 IN ALL AREAS WHERE FILL IS REQUIRED, GAIN REQUIRED LEVELS USING A PREMIUM ORGANIC SOIL MIX
 REMOVE EXCESS CLAY, WHERE REQUIRED, TO ALLOW FOR ADDITION OF 100-200mm DEPTH OF PREMIUM ORGANIC GARDEN SOIL TO GARDEN AREAS AND 100mm DEPTH OF TOP SOIL TO LAWN AREAS
 SET AT THE RECOMMENDED FINISHED LEVELS AND HAVE SUFFICIENT SOIL DEPTHS TO ENABLE LAWN AND PLANTS TO THRIVE AND GROW
 ENSURE SOIL LEVELS ARE SET TO ALLOW FOR THE ADDITION OF TURF AND MULCHES TO SPECIFIED REQUIREMENTS

PLANTING

ENSURE PLANTS ARE INSTALLED WITHIN 24HRS OF DELIVERED
 SET OUT PLANTS AS INDICATED ON LANDSCAPING PLANS
 ADD FERTILIZER, FOLLOWED BY 100MM OF GARDEN SOIL, SHALL BE PLACED INTO THE BASE OF HOLE AND LIGHTLY CONSOLIDATED
 BASE OF STEM SHALL FINISH FLUSH WITH FINISHED SOIL LEVEL
 THOROUGHLY WATER ALL PLANTS ON FIRST PLANTING TO SOAK SOIL OF PLANT AND SURROUNDING SOIL TO ALLOW ROOTS TO ADJUST, DO NOT ALLOW DRYING OUT
 WATER REGULAR OVER THE FIRST 3-4 WEEKS

TURF AREAS

TURF AREAS TO HAVE SUITABLE BUFFALO INSTANT TURF Laid OVER PREPARED SUBSOILS
 WATER REGULAR OVER THE FIRST 3-4 WEEKS

TIMBER EDGING

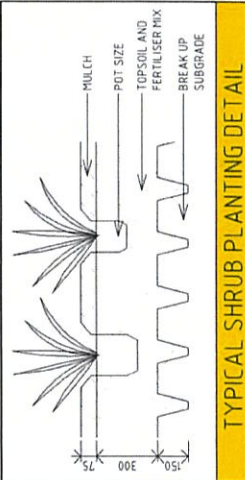
MIN 50mm X 100mm H/L TREATED PINE TIMBER EDGE TO BE LOCATED BETWEEN ALL GARDEN/TURF AREAS AND GRAVEL/GARDEN AREAS SECURE TO 50mm X 50mm X 450mm HARDWOOD TIMBER PEGS WITH GALVANISED NAILS, 2 PER FIXING

MULCHING

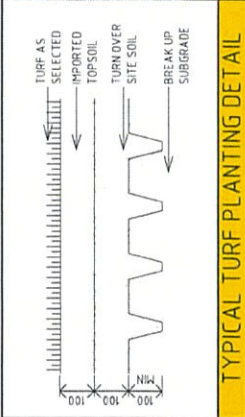
INSTALL 75mm PIN OF FOREST MULCH OVER ALL GARDEN AREAS, COVERING MULCH AROUND ALL PLANTS KEEPING AWAY FROM STEMS AND FINISHING FLUSH WITH ADJACENT SURFACES

MAINTENANCE

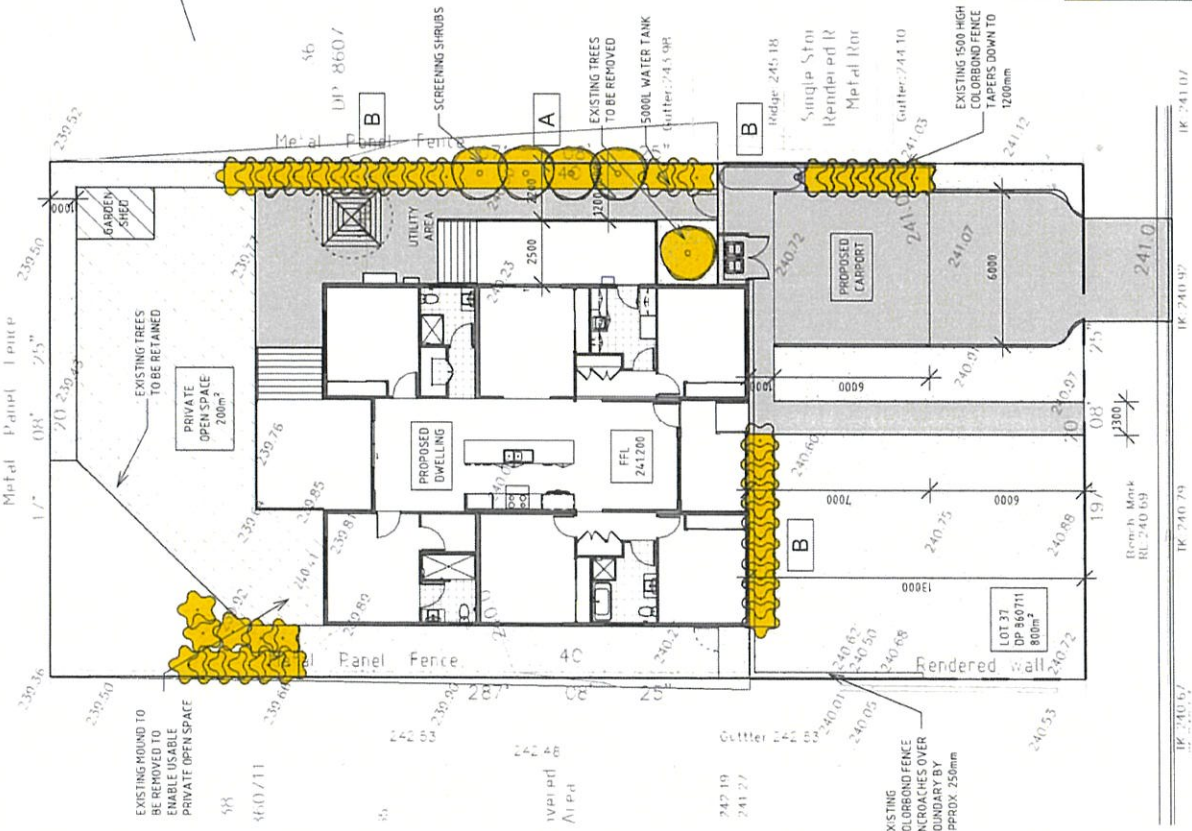
REGULAR WEED CONTROL IN GARDEN BEDS AND INSIDE TREE GUARDS
 ANNUAL REPLENISHMENT OF MULCH
 REPLACEMENT OF DEAD PLANTS WITH THE SAME APPROVED SPECIES TO STOP WEED INVASION ON EXPOSED GROUND
 THE REMOVAL AND RECYCLING OF TREE GUARDS WHEN THE PLANTS ARE ESTABLISHED AND HAVE GROWN BEYOND THE PROTECTION OF THE GUARDS
 REGULAR PRUNING



TYPICAL SHRUB PLANTING DETAIL



TYPICAL TURF PLANTING DETAIL



LEGEND

- TURF
- CONCRETE PATHS/DRIVEWAY
- DECOMPOSED GRANITE

LANDSCAPING AREAS

AREA	AREA
SITE AREA	800m ²
BUILDING FOOTPRINT	254m ²
TURF	94m ²
DRIVEWAY/PATHWAYS	185m ²
DECOMPOSED GRANITE	164m ²
GARDENS/PLANTING	103m ²

LANDSCAPING PLAN JAMES PLACE

1 : 200



THOMAS
BUILDING DESIGN

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 111 James Place, Cobarr
 www.thomasbd.com.au • 08 85 85 1411

REV	DESCRIPTION	DATE	PROJECT	CLIENT
N	AMENDMENTS TO DRAINAGE	13/06/23		
M	AMENDMENTS TO DRAINAGE	09/06/23		
L	AMENDMENTS TO DRAINAGE	24/05/23		

DESIGNED	BA	CHECKED	BA	SHEET TITLE
11 JAMES PLACE, COBARR				LANDSCAPING

PROPOSED DWELLING	REVISION	SHEET SIZE	PROJECT No	DRAWING No	SHEET No
	N	A3	220382	A07	8/11

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BASIX COMMITMENTS

11 James Place Cobarr

SUMMARY OF BASIX COMMITMENTS

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for complete details. For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

4 Star Shower Heads	Yes (> 6 but <= 7.5 U/min)	2 Star
4 Star Kitchen / Basin Taps	Yes	2 Star
4 Star Toilet	Yes	2 Star
Alternative Water		
Minimum Tank Size (L)	5000	Collected from Roof Area (m ²)
		150
Tank Connected To:		
All Toilets	Yes	Laundry W/M Cold Tap
One Outdoor Tap	Yes	Yes

THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans

ENERGY COMMITMENTS		Solar (Electric Boost) 21 to 25 STCs	
Hot Water	Cooling	Living	1 Phase A/C
		Bedrooms	1 Phase A/C
		Living	1 Phase A/C
		Bedrooms	1 Phase A/C
		1 x Bathroom	Fan ducted to exterior
		Kitchen	Fan ducted to exterior
		Laundry	Fan ducted to exterior
		Window/Skylight in Kitchen	Yes to 3
		Window/Skylight in Bathrooms/Toilets	0
		Number of bedrooms	0
		Number of Living/Dining rooms	0
		Kitchen	No
		All Bathrooms/Toilets	No
		Laundry	Yes
		All Hallways	Yes
OTHER COMMITMENTS			
Outdoor clothes line	Yes	Ventilated refrigerator space	Yes
Alternative Energy	n/a		

THERMAL PERFORMANCE SPEC.

February 2023
BSA Reference: 19170
Building Sustainability Assessments
enquiries@buildingsustainability.net.au
Ph: (02) 4962 3439
www.buildingsustainability.net.au

Important Note

The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NalHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.
In NSW both BASIX & the BCA variations must be complied with, in particular the following:
- Thermal construction in accordance with Vol 1, Section J1.2 or Vol 2, Part 3.12.1.1
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(f)
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(i), (ii) & (e) or (c), (d) & (e)
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.

Thermal Performance Specifications (does not apply to garage)		Added Insulation	
External Wall Construction	AAAC 50mm Veneer	R2.5	
Internal Wall Construction	Plasterboard on studs	Added Insulation	None
Ceiling Construction	Plasterboard	Added Insulation	
Roof Construction	Colour (Solar Absorptance) Medium SA 0.50	R6.0 to ceilings adjacent to roof space	Added Insulation Foil + R1.0 blanket
Floor Construction	Timber	Covering	Added Insulation
As drawn (if not noted default values used)			R2.5
Windows	Glass and frame type	U value	SHGC Range
Performance glazing Type A		4.80	0.46 - 0.56
Performance glazing Type B		4.80	0.53 - 0.65
Type A windows are awning windows, bi-folds, casements, tilt 'n' turn windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, loures			
Skylights	Glass and frame type	U	SHGC
		Area sq m	Detail
U and SHGC values are according to AFRC. Alternative products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements (eaves, verandahs, awnings etc)			
All shade elements modelled as drawn			
Gelling Penetrations (downlights, exhaust fans, flues etc)			
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA			
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.			
Ceiling Fans used in the Modelling and to be installed in the following areas: Living areas: 1x 1200mm (dining); Bedrooms: 5x 1200mm.			

GARNIE FINISHES SCHEDULE

Item	Location	Brand	Selection	Code	Specifics	Image	URL / Notes
Joinery	Base Cabinets, Wall Cabinets, Tall Cabinet & Kicker	LAMINEX or Equivalent	Colour: Pear White Finish: Natural	205	- Matching 2mm PVC trim - 10mm overhang at bottom of wall cabinets		
Joinery Feature (optional)	Wall Cabinets (Excludes fridge cabinet)	LAMINEX or Equivalent	Colour: Rural Oak Finish: Natural	77	- Matching 2mm PVC trim - 10mm overhang at bottom - No Handles		
Bench top	Work surfaces	LAMINEX or Equivalent	Colour: Lined Concrete Finish: Natural	8534	Formed square edge profile		
Wall Tile	Splashback Kitchen & Laundry	BEAUMONT TILES or Equivalent	Style: 300 x 100 Subway Colour: United White Finish: Gloss	182174	Laid in Brick Bond		
Grout	Splash back	MAPEI or Equivalent	Colour: Cement Grey	113	Cement Grey or equivalent		
Bathroom							
Item	Location	Brand	Selection	Code	Specifics	Image	URL / Notes
Floor Tile	Floor & Feature Wall	BEAUMONT TILES or Equivalent	Style: 300 x 300 Porcelain Colour: Laguna Dark Grey Microtec textured	1245349			
Grout	Floor & Feature Wall	ADREX or Equivalent	Colour: Colour Matched		P3		
Wall Tile	Wet areas	BEAUMONT TILES or Equivalent	Style: 400 x 200 Colour: Sphere White Finish: Salin	1221638			
Grout	Wall Tiles	ARDEX or Equivalent	Colour: White Type: Super Fine	211			

Item	Location	Brand	Selection	Code	Specifics	Image	URL / Notes
Floor Finishes							
Vinyl	Ground floor including kitchen, dining, hall, living & bedrooms	POLYFLOR or Equivalent	Colour: Natural Oak Range: Expona Simplay	2232	Ground Floor Only		
Carpet	Second level including stairs, hall and bedrooms	GH Commercial or Equivalent	Colour: Dusky Grey Range: Lairobe Fibre: 80% Wool / 20% Synthetic	NA	Excludes Ground Floor - No Carpet to be used on single level dwellings		https://www.abncommercial.com/products/lairobe7color-dusky-grey
Wall Finishes							
Item	Location	Brand	Selection <td>Code</td> <td>Specifics</td> <td>Image</td> <td>URL / Notes</td>	Code	Specifics	Image	URL / Notes
Main Wall Colour	All (except feature colour if specified)	DULUX or Equivalent	Colour: Tranquil Retreat Finish: Low Sheen, washable	SM4G1	As specified - This colour will appear lighter on walls		
Trims, doors etc.	As specified	DULUX or Equivalent	Colour: Vivid White Finish: Gloss	W1	As specified		
Window Finishes							
Item	Location	Brand	Selection <td>Code</td> <td>Specifics</td> <td>Image</td> <td>URL / Notes</td>	Code	Specifics	Image	URL / Notes
Window Coverings	All Windows	VIBE or Equivalent	Style: Roller Blinds Colour: Ice	NA	Excludes obscure glass		
Sliding / Bifold Door coverings	All Glazed Doors	VIBE or Equivalent	Style: Vertical Blinds Colour: Ice	NA	Excludes obscure glass		

THOMAS
BUILDING DESIGN

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1110 BROADWAY, SUITE 1100, NEW YORK, NY 10038
PH: 212-512-2000 FAX: 212-512-2001
WWW.THOMASAD.COM



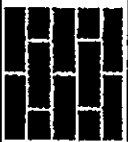
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N	AMENDMENTS TO DRAINAGE	13/06/23	13/06/23
H	AMENDMENTS TO DRAINAGE	09/06/23	
L	AMENDMENTS	24/05/23	
REV	DESCRIPTION	DATE	

CLIENT: CORRECTIVE SERVICES INDUSTRIES
SITE ADDRESS: 11 JAMES PLACE, COBAR
PROJECT: PROPOSED DWELLING

DESIGNED	CHECKED	SHEET TITLE	PROJECT No.	DRAWING No.	SHEET No.
BA	BA	FINISHES SCHEDULE - EXTERNAL	220382	A10	11/11
DATE:	REVISION:				
13/06/23	N				

Finishes Schedule - External

Item	Selection	Image
Roof and Gutters	Colorbond - Surfsmist	
Facias & Barge Boards	Colorbond - Wallaby	
Wall Colour	Exterior Paint - Dune	
Brick Skin	PGH Foundations - Stone - Exp grade	
Eaves	Exterior Paint DULUX Natural White	
Feature trims and entry Doors	Exterior Paint DULUX Natural White	
Windows and Trims	Aluminium Powder coat - Surfsmist / white	
Garage Door	Colorbond - Surfsmist	

THOMAS
BUILDING DESIGN

SHOULD BE USED FOR ALL PROJECTS.
100, South Street, PO Box 123, North Sydney, NSW 1585
www.thomasdesign.com.au | 02 9550 1234

REVISIONS

REV	DESCRIPTION	DATE
L	AMENDMENTS	24/05/23
K	INTERNAL FITOUT ADDED	17/03/23
J	FOR COUNCIL APPROVAL	07/03/23

CLIENT: CORRECTIVE SERVICES INDUSTRIES
SITE ADDRESS: 11 JAMES PLACE, COBAR
PROJECT: PROPOSED DWELLING

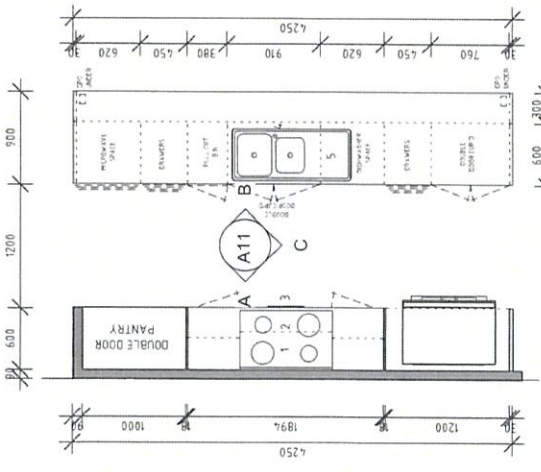
DESIGNED: BA
DATE: 24/05/23

DRAWN: BA
REVISION: L

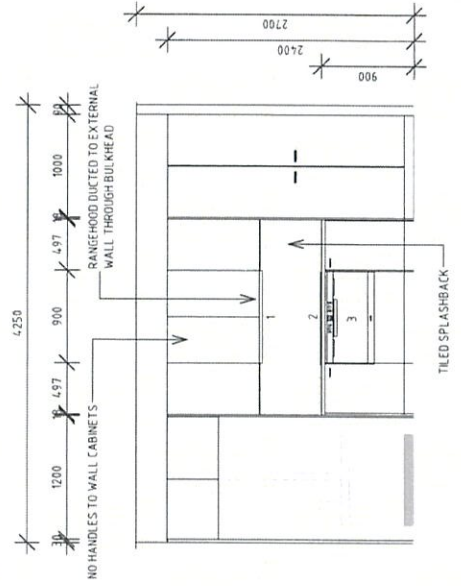
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SHEET SIZE: A3

SHEET TITLE: FINISHES SCHEDULE - EXTERNAL

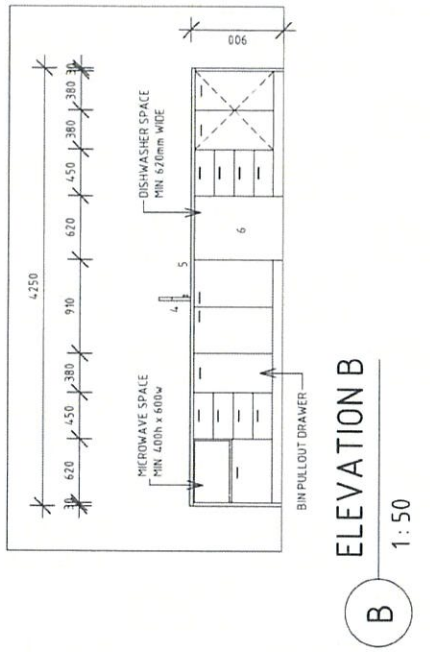
PROJECT No: 220382
DRAWING No: A10
SHEET No: 11/17



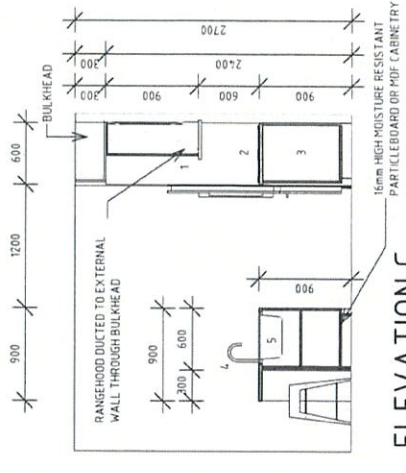
1
INT PLAN - KITCHEN
1:50



A
ELEVATION A
1:50



B
ELEVATION B
1:50



C
ELEVATION C
1:50

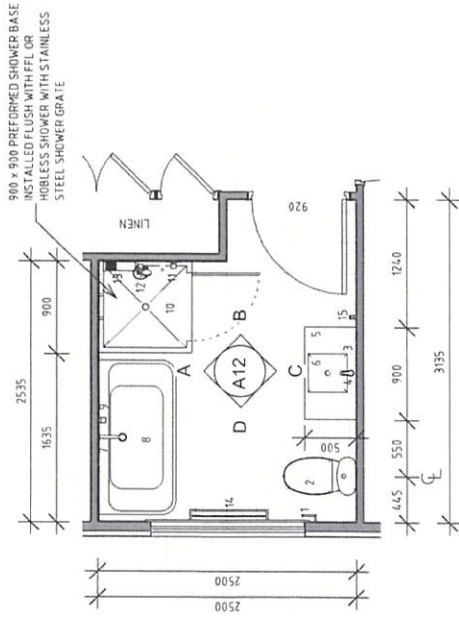
FIXTURE SPECIFICATIONS	
FIXTURE	MODEL
1 RANGE HOOD	900mm FIXED UNDERMOUNT RANGE HOOD - STAINLESS STEEL
2 FISHER & PAYKEL	6 ZONE GLASS/CERAMIC COOKTOP
3 WESTINGHOUSE	900mm ELECTRIC OVEN STAINLESS STEEL - MIN. 120L
4 PHOENIX	PNKA GOOSENECK SINK MIXER - CHROME (4 STAR WELS)
5 KITCHEN SINK	SOLUSTM3 1 3/4 BOWL INSET SINK, 1 TAPHOLE, LEFT / RIGHT HAND BOWL
6 DISHWASHER	SPACE ALLOCATED FOR DISHWASHER

NOTES - KITCHEN

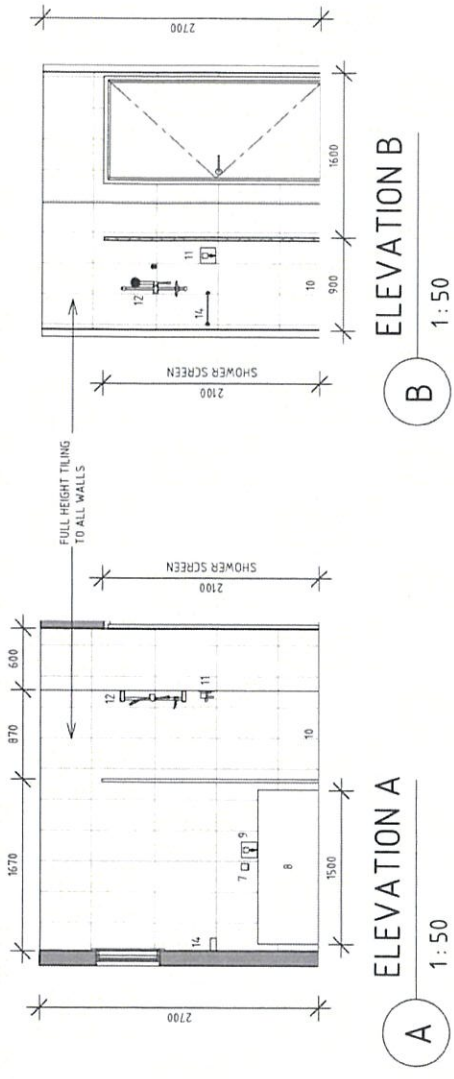
- FLOOR TILES TO BE LAID BEFORE KITCHEN IS INSTALLED AND SHOULD EXTEND BENEATH ALL JOINERY CABINETS
- FRIDGE SPACES TO BE VENTILATED THROUGH BULKHEAD (PROVIDE INSECT SCREEN)
- RANGEHOOD TO BE VENTILATED THROUGH BULKHEAD TO EXTERNAL WALL
- CABINETS TO BE LAMINATE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF
- ALL SHELVING TO BE WHITE MELAMINE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF PANELS
- CONTRACTOR TO CHECK AND MEASURE ONSITE PRIOR TO FABRICATION
- SOFT CLOSERS TO BE PROVIDED TO ALL DRAWERS AND DOORS
- ALL CABINETS TO COMPLY WITH A54386:2018

NOTES - GENERAL

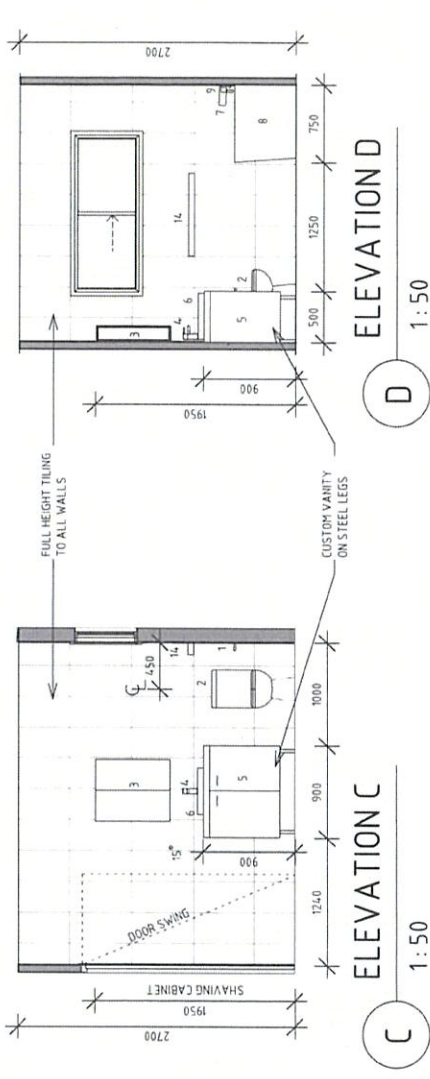
- DRAWINGS TO BE READ IN CONJUNCTION WITH NEW CONSTRUCTION GUIDELINES DOCUMENT PREPARED BY ABORIGINAL HOUSING OFFICE
- DRAWINGS TO BE READ IN CONJUNCTION WITH FIXTURES, FINISHES & EQUIPMENT SCHEDULE AVAILABLE FROM PROPERTY AND FINANCE DIVISION, ABORIGINAL HOUSING OFFICE
- COLOUR AND FINISHES SELECTIONS DETAILED ON DWG A09 & A10
- AS PRODUCTS CAN BE VARED OR WITHDRAWN AND NEW PRODUCTS BECOME AVAILABLE CONFIRMATION SHOULD BE SOUGHT AT THE TIME OF ORDERING MATERIALS AND PRODUCTS TO ENSURE THEY STILL MEET THE ORIGINAL HOUSING OFFICE REQUIREMENTS
- A PRODUCT NOT IN THE SCHEDULE CAN BE USED IN A PROJECT BUT IT WILL HAVE TO BE CERTIFIED AS COMPLYING WITH THE AHO STANDARDS AND/OR THE RELEVANT SPECIFICATIONS
- REFER TO ELECTRICAL AND HYDRAULIC DRAWINGS FOR FURTHER DETAILS OF SERVICE LOCATIONS



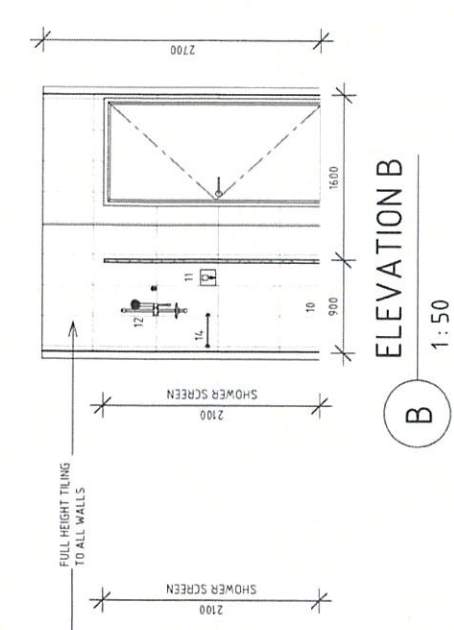
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INT PLAN - BATH 1
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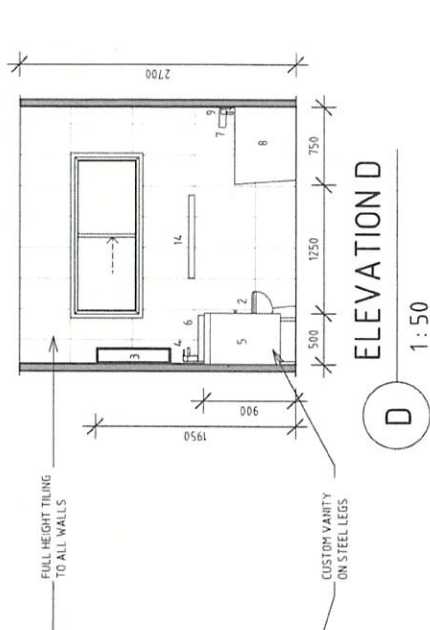
A
ELEVATION A
1:50



C
ELEVATION C
1:50



B
ELEVATION B
1:50



D
ELEVATION D
1:50

FIXTURE SPECIFICATIONS	
FIXTURE	MODEL
1 TOILET ROLL HOLDER	PHOENIX
2 TOILET	RADI (CHROME) TOILET ROLL HOLDER
3 SHAVING CABINET	LUNA BACK TO WALL TOILET SUITE IN VITREOUS CHINA - SOFT CLOSE QUICK RELEASE SEAT
4 BASIN MIXER	DURAPLEX 600mm x 900mm FRAMELESS SHAVING CABINET WITH MIRROR BACKED GLASS
5 VANITY	BLAZE PIN BASIN MIXER - VIVID SLIM - CHROME (6 STAR WELS)
6 VANITY BASIN	MIN. 500mm DEPTH - PARTICLEBOARD WITH HIGH PRESSURE DECORATIVE LAMINATE FLOOR STANDING ON 150mm STAINLESS LEGS
7 BATH SPOUT	CARBON II 1.5mm INSET (TAPHOLE) - VITREOUS CHINA - WHITE
8 BATH	VIVID 200mm BATH SPOUT - CHROME
9 BATH MIXER	POSH DORMANE FREESTANDING BATH BACK TO WALL 1500 LONG - WHITE
10 SHOWER BASE	VIVID SLIMLINE SHOWER/ BATH MIXER - CHROME
11 SHOWER MIXER	MOLDED PLASTIC NON-SLIP SHOWER BASE OR HOBBLESS SHOWER WITH STAINLESS STEEL GRATE
12 SHOWER HEAD AND RAIL	VIVID SLIMLINE SHOWER/ BATH MIXER - CHROME
13 SHOWER SHELF	POSH SOLUS MK3 RAIL SHOWER, 3 FUNCTIONS - CHROME
14 TOWEL RAIL	VIVID SLIMLINE - CHROME
15 HAND TOWEL HOOK	RADI 900mm DOUBLE TOWEL RAIL - CHROME
	RADI ROBE HOOK - CHROME

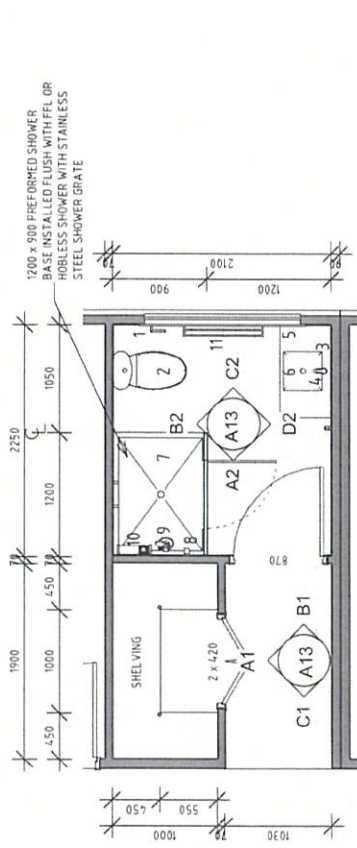
NOTES - BATHROOM / ENSUITE

- ALL WET AREAS TO COMPLY WITH AS3740
- WATERPROOFING TO EXTEND TO 2m HIGH FOR FULL HEIGHT TILED BATHROOMS
- CABINETRY TO BE LAMINATE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF
- ALL SHELVING TO BE WHITE MELAMINE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF PANELS
- CONTRACTOR TO CHECK AND MEASURE ON SITE PRIOR TO FABRICATION
- SOFT CLOSERS TO BE PROVIDED TO ALL DRAWERS AND DOORS

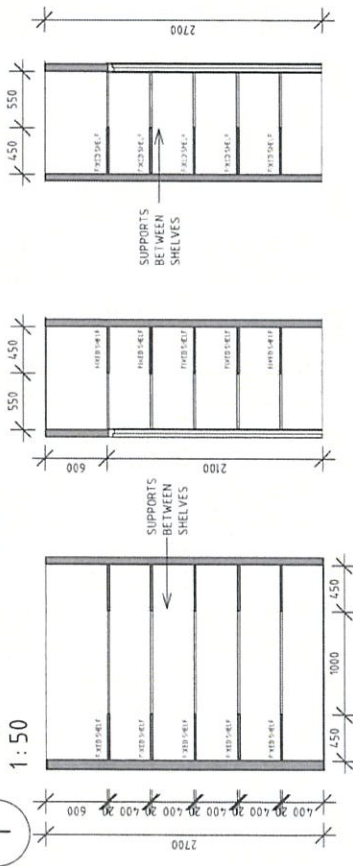
NOTES - GENERAL

- DRAWINGS TO BE READ IN CONJUNCTION WITH 'NEW CONSTRUCTION GUIDELINES' DOCUMENT PREPARED BY ABORIGINAL HOUSING OFFICE
- DRAWINGS TO BE READ IN CONJUNCTION WITH 'FIXTURES, FINISHES & EQUIPMENT SCHEDULE' AVAILABLE FROM PROPERTY AND FINANCE DIVISION, ABORIGINAL HOUSING OFFICE
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- REFER TO ELECTRICAL AND HYDRAULIC DRAWINGS FOR FURTHER DETAILS OF SERVICE LOCATIONS

THOMAS BUILDING DESIGN	THE COMPANY IS A DIVISION OF THOMAS AND ASSOCIATES CONSULTING PTY. LTD. 111 BARNES ROAD, WILSONS PROMENADE, WILSONS PROMENADE, WILSONS PROMENADE, WILSONS PROMENADE TEL: 08 9447 1000 FAX: 08 9447 1001 WWW.THOMASANDASSOCIATES.COM.AU	AMENDMENTS L INTERNAL FITOUT ADDED K FOR COUNCIL APPROVAL J REV DESCRIPTION	DESIGNED: BA DRAWN: BA CHECKED: BA SHEET TITLE: BATH 1 DETAILS	PROJECT No: 220382 DRAWING No: A12 SHEET No: 13/17
	DATE: 24/05/23 PROJECT: 11 JAMES PLACE, COBAR PROPOSED DWELLING	CLIENT: CORRECTIVE SERVICES INDUSTRIES SITE ADDRESS: 11 JAMES PLACE, COBAR DATE: 07/03/23	DATE: 24/05/23 REVISION: L SHEET SIZE: A3 PROJECT No: 220382	DATE: 24/05/23 REVISION: L SHEET SIZE: A3 PROJECT No: 220382



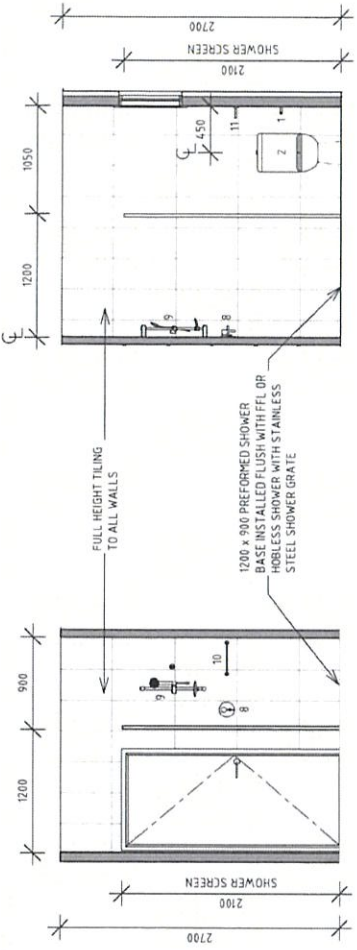
INT PLAN - BATH 2 & WALK IN STORE



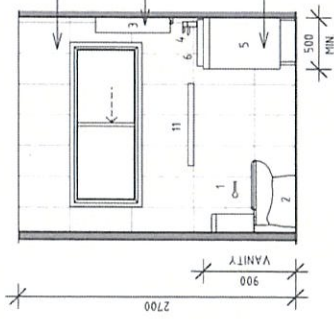
STORE A 1:50
STORE B 1:50
STORE C 1:50

FIXTURE SPECIFICATIONS

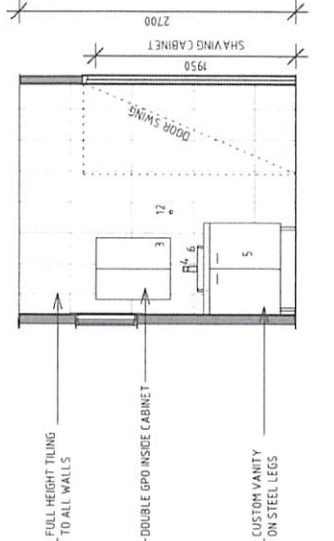
FIXTURE	TYPE	MODEL
1	TOILET ROLL HOLDER	PHOENIX RADI CHROME TOILET ROLL HOLDER
2	TOILET	LUNA BACK TO WALL TOILET SUITE IN VITREOUS CHINA - SOFT CLOSE QUICK RELEASE SEAT
3	SHAVING CABINET	600mm x 900mm FRAMELESS SHAVING CABINET WITH MIRROR BACKED GLASS
4	BASIN MIXER	BLAZE PIN BASIN MIXER - VIVID SLIM - CHROME (6 STAR WELS)
5	VANITY	MM 500mm DEPTH - PARTICLEBOARD WITH HIGH PRESSURE DECORATIVE LAMINATE FLOOR STANDING ON 150mm STAINLESS LEGS
6	VANITY BASIN	CARBON II 415mm INSET BASIN (1 TAPHOLE) - VITREOUS CHINA - WHITE
7	SHOWER BASE	MOULDED PLASTIC NON SLIP SHOWER BASE OR HOBBLESS SHOWER WITH STAINLESS STEEL GRATE
8	SHOWER MIXER	VIVID SLIMLINE SHOWER/ BATH MIXER - CHROME
9	SHOWER HEAD AND RAIL	POSH SOLUS MK3 RAIL SHOWER, 3 FUNCTIONS - CHROME
10	SHOWER SHELF	VIVID SLIMLINE - CHROME
11	TOWEL RAIL	RADI 900mm DOUBLE TOWEL RAIL - CHROME
12	HAND TOWEL HOOK	RADI ROBE HOOK - CHROME



BATH 2 ELEVATION A 1:50



BATH 2 ELEVATION C 1:50



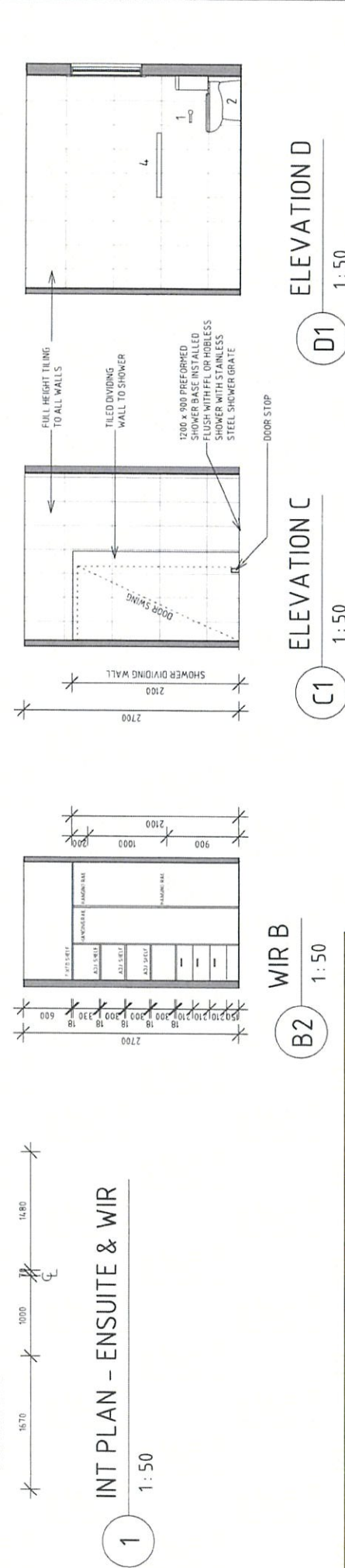
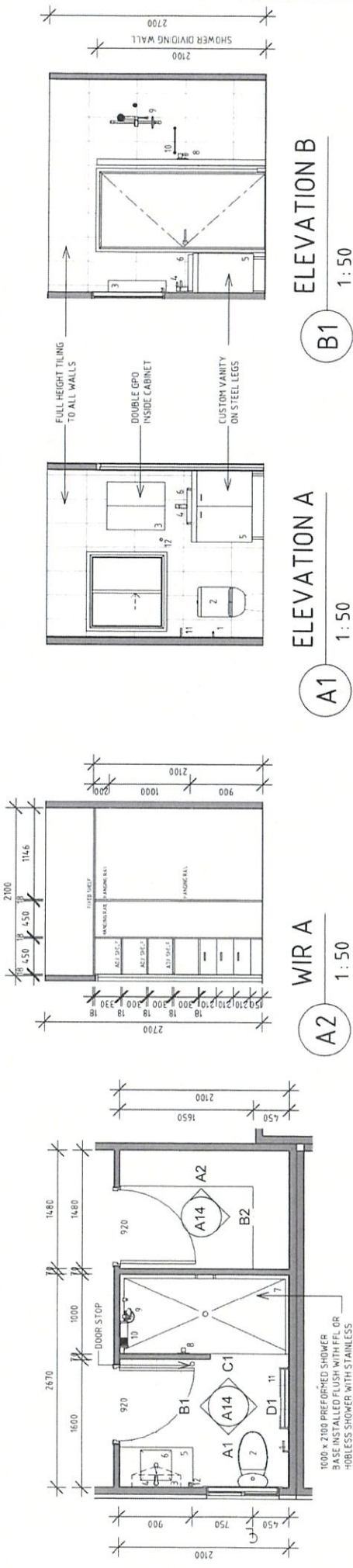
BATH 2 ELEVATION D 1:50

NOTES - BATHROOM / ENSUITE

- ALL WET AREAS TO COMPLY WITH A53740
- WATERPROOFING TO EXTEND TO 2.1m HIGH FOR FULL HEIGHT TILED BATHROOMS
- CABINETRY TO BE LAMINATE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF
- ALL SHELVING TO BE WHITE RELAXINE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF PANELS
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FIXTURE	TYPE	MODEL
1	TOILET ROLL HOLDER	RADI CHROME TOILET ROLL HOLDER
2	TOILET	CARPHA LUNA BACK TO WALL TOILET SUITE IN VITREOUS CHINA - SOFT CLOSE QUICK RELEASE SEAT
3	SHAVING CABINET	DURAPLEX 600mm x 900mm FRAMELESS SHAVING CABINET WITH MIRROR BACKED GLASS
4	BASIN MIXER	PHOENIX BLAZE PIN BASIN MIXER - VIVID SLIM - CHROME (6 STAR WELS)
5	VANITY	CUSTOM MIN 500mm DEPTH - PARTICLEBOARD WITH HIGH PRESSURE DECORATIVE LAMINATE FLOOR STANDING ON 150mm STAINLESS LEGS
6	VANITY BASIN	CARPHA CARBON II 455mm INSET BASIN (1 TAP/HOLE) - VITREOUS CHINA - WHITE
7	SHOWER BASE	CUSTOM MOULDURED PLASTIC NON SLIP SHOWER BASE OR HOBLESS SHOWER WITH STAINLESS STEEL GRATE
8	SHOWER MIXER	VIVID SLIMLINE SHOWER/BATH MIXER - CHROME
9	SHOWER HEAD AND RAIL	POSH SOLUS PM3 RAIL SHOWER, 3 FUNCTIONS - CHROME
10	SHOWER SHELF	VIVID SLIMLINE - CHROME
11	TOWEL RAIL	RADI 900mm DOUBLE TOWEL RAIL - CHROME
12	HAND TOWEL HOOK	RADI ROBE HOOK - CHROME

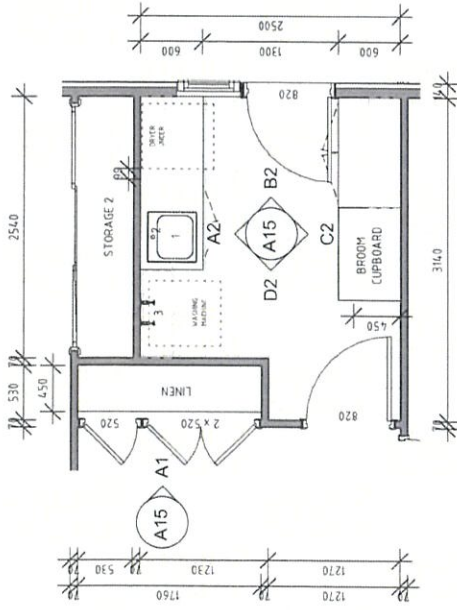
FIXTURE SPECIFICATIONS

NOTES - BATHROOM / ENSUITE

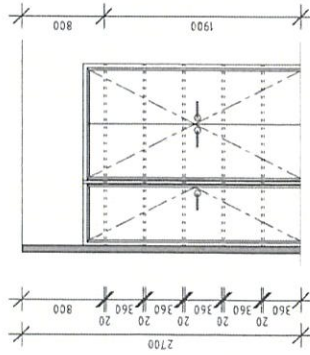
- ALL WET AREAS TO COMPLY WITH A33740
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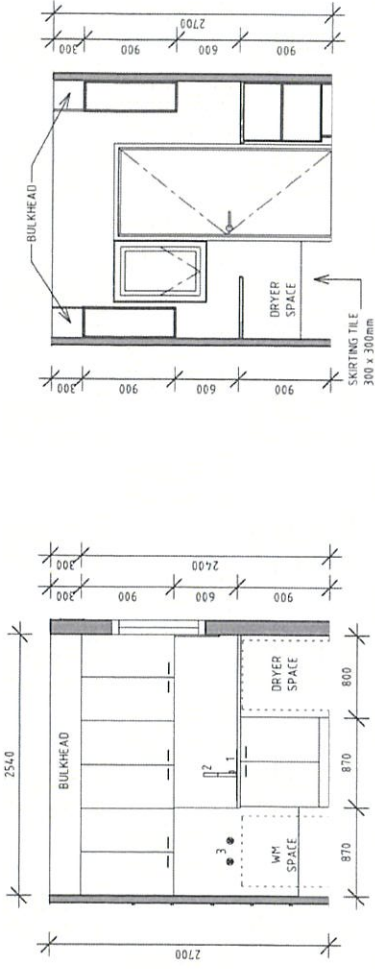
INT PLAN - LAUNDRY & LINEN (TYP)



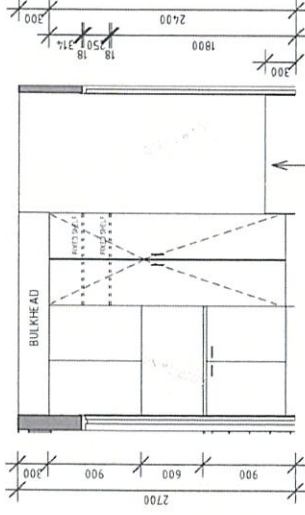
LINEN ELEVATION A

FIXTURE SPECIFICATIONS

FIXTURE	TYPE	MODEL
1 LAUNDRY TUB	POSH	SOLUS FLAT RIM TROUGH/45 LITRES, 1 TAP/POLE WITH BYPASS - STAINLESS STEEL
2 LAUNDRY SET	PHOENIX	PMA GOOSENECK SINK MIXER - CHROME (4 STAR WELS)
3 WASHING MACHINE SET	PHOENIX	GEN X WASHING MACHINE STOPS - CHROME

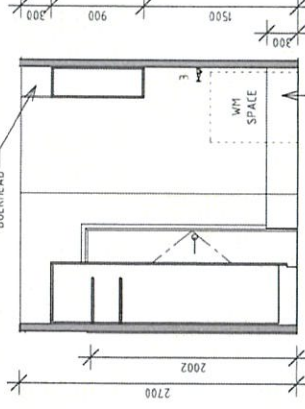


ELEVATION A



ELEVATION C

ELEVATION B



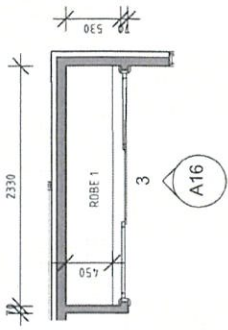
ELEVATION D

NOTES - LAUNDRY

- ALL WET AREAS TO COMPLY WITH AS3740
- WASHING MACHINE / TUB TAPS TO BE INSTALLED AT A HEIGHT TO ALLOW DRYER TO BE WALL HUNG ABOVE
- CABINETRY TO BE LAMINATE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF
- ALL SHELVING TO BE WHITE MELAMINE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF PANELS
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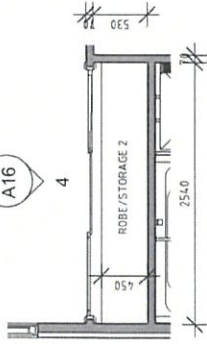
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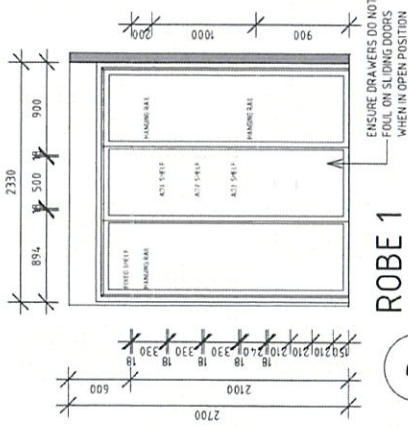
1 INT PLAN - ROBE 1 (TYP)

1:50



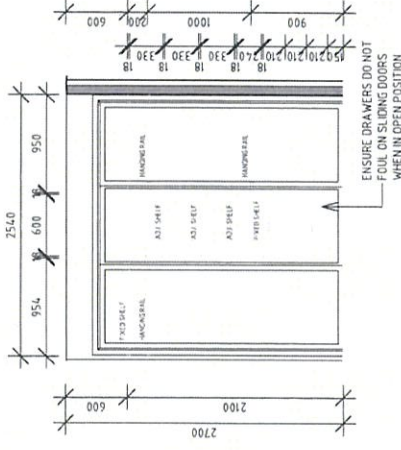
2 INT PLAN - ROBE/STORAGE 2 (TYP)

1:50



3 ROBE 1

1:50



4 ROBE/STORAGE 2

1:50

NOTES - STORAGE

- ALL SHELVING TO BE WHITE MELAMINE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF PANELS
- ROBE DOORS TO BE SLIDING WITH LAMINATE FINISH RESISTANT PARTICLEBOARD OR MDF
- FACE PANELS TO BE LAMINATE FINISH MIN. 16mm HIGH MOISTURE RESISTANT PARTICLEBOARD OR MDF
- HANGING RAILS MUST BE CAPABLE OF BEING LOWERED
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L	AMENDMENTS	DATE	CLIENT
K	INTERNAL FITOUT ADDED FOR COUNCIL APPROVAL	17/03/23	CORRECTIVE SERVICES INDUSTRIES
J		07/03/23	11 JAMES PLACE, COBARR
REV	DESCRIPTION	DATE	PROJECT
			PROPOSED DWELLING

DESIGNED	CHECKED	SHEET TITLE
BA	BA	STORAGE FITOUT DETAILS
DATE	REVISION	PROJECT No
24/05/23	L	220382
DATE	REVISION	DRAWING No
		A16



STATEMENT OF ENVIRONMENTAL EFFECTS

11 JAMES PLACE,
COBAR

Proposed Transportable Dwelling
08-03-2023

VERSION 1

THOMAS

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Kurri Kurri NSW 2327
Australia

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M: PO Box 76
Kurri Kurri NSW 2327

DOCUMENT VERSION				
220382 - STATEMENT OF ENVIRONMENTAL EFFECTS - 11 JAMES PLACE, COBAR				
Version No:	Date:	Version:	Author:	Checked:
1	08-03-2023	Final	Mel Greene <i>Planning Consultant</i>	Belinda Allaway <i>Building Designer</i>

DISCLAIMER

The following report has been provided in accordance with the Environmental Planning and Assessment Regulations 2000 in the form of a Statement of Environmental Effects (SoEE) pursuant to Schedule 1 Part 1 to support an application for development consent pursuant to Section 4.12 of the Environmental Planning Act 1979 (As Amended) (EP&A Act). The assessment conclusions and detail contained herein are undertaken to the best of our knowledge and ability in response to the information made available to us at the time of writing.

TERMS AND ABBREVIATIONS

CSC	Cobar Shire Council
DA	Development Application
CC	Construction Certificate
EP&A Act	Environmental Planning & Assessment Act 1979
DCP	Development Control Plan
LEP	Local Environmental Planning Policy
LGA	Local Government Area
SoEE	Statement of Environmental Effects
SEPP	State Environmental Planning Policy
FFL	Finished Floor Level
FPL	Flood Planning Level

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INTRODUCTION

Thomas and Associates Consulting Pty Ltd has been engaged by Corrective Services Industries, on behalf of the Aboriginal Housing Office, to prepare the following SoEE to accompany the DA to Cobar Shire Council for the proposed Transportable Dwelling at 11 James Place, Cobar.

This SoEE is intended to clarify and explain details to the DA plans prepared by Thomas & Associates Consulting as well as provide further information where required. This SoEE has been provided to explain the merit of the proposed development in relation to provisions set out by Cobar Shire Council LEP as well as all other relevant planning provisions.

This SoEE and accompanying DA have been prepared on behalf of the applicant and addresses the matters referred to in Section 4.15 of the EPA&A Act and the matters required to be considered by the consent authority.

DEVELOPMENT DETAILS	
Applicant	Aboriginal Housing Office c/o Thomas Consulting
Property Address	11 James Place, Cobar
Lot / DP / SP / Section	37/-/DP860711
Local Government Area (LGA)	Cobar Shire Council
Zoning	R2 Low Density Residential
Site area	800m ²

SITE LOCATION AND DESCRIPTION

The site is located in an established residential area of Cobar. It is surrounded by residential dwellings and in close proximity to Cobar High School.



Figure 1: Aerial image of subject site (indicated by blue arrow) (Source: Nearmaps)

The site has a frontage of 20m and has a depth of 40m with a site area of 800m². The site is a rectangular shape and slopes from east to the west.

2 PROPOSED DEVELOPMENT

The proposed development is for a Transportable Dwelling. The development will consist of a five-bedroom dwelling that will be used as intergenerational Aboriginal housing. The dwelling will have a porch, deck, and a double carport. The dwelling will be constructed offsite and transported to site in modules with a carport and covered deck being constructed onsite. The Development Application submitted to council will be for the Dwelling, Porch, Decks and Carport.

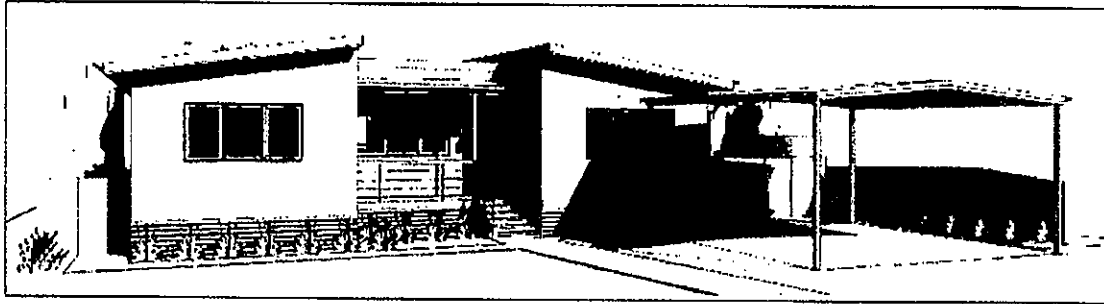


Figure 2: South East Elevation of proposed Dwelling

3 PLANNING CONTROLS

The following acts, legislation and controls are considered relevant to the proposal.

3.1 ACTS

3.1.1 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

The aims of the EP&A Act 1979 as follows:

- (a) *to promote the social and economic welfare of the community and a better environment by the proper management, development, and conservation of the State's natural and other resources,*
- (b) *to facilitate ecologically sustainable development by integrating relevant economic, environmental, and social considerations in decision-making about environmental planning and assessment,*
- (c) *to promote the orderly and economic use and development of land,*
- (d) *to promote the delivery and maintenance of affordable housing,*
- (e) *to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities, and their habitats,*
- (f) *to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage),*
- (g) *to promote good design and amenity of the built environment,*
- (h) *to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants,*
- (i) *to promote the sharing of the responsibility for environmental planning and assessment between the different levels of government in the State,*
- (j) *to provide increased opportunity for community participation in environmental planning and assessment.*

The aims of this act will be addressed throughout this report.

3.2 STATE ENVIRONMENTAL PLANNING POLICIES (SEPPS)

3.2.1 SEPP HOUSING 2021

The objectives of the SEPP are to facilitate the development of housing for the homeless and other disadvantaged people who may require support services. The proposed development is being constructed by Corrective Services Industries on behalf for Aboriginal Housing Office so this satisfies the objectives of the SEPP.

3.2.2 SEPP (BASIX) 2004

The aim of this SEPP is to encourage sustainable residential development. A BASIX Certificate has been prepared for the development. The certificate demonstrates that the proposal can achieve the required water and energy saving targets compared to the standard model house. The dwelling has been designed to achieve a 6-star NatHERS thermal comfort rating to ensure sustainable residential development.

3.2.3 SEPP BIODIVERSITY AND CONSERVATION

The proposed development site has some existing vegetation present at the rear of the site which is to be retained for shade and amenity. There is minimal vegetation clearing required as part of the development. Therefore the development satisfies the SEPP in protecting the biodiversity of trees

and vegetation in non rural areas, and protect the amenity of non rural area through the preservation of trees and other vegetation. Therefore the land is considered suitable for the proposed development.

3.3 COBAR LOCAL ENVIRONMENTAL PLAN

The following guidelines of the Cobar Shire Council LEP 2012 are considered relevant to the proposed development.

The aims of the Cobar Shire Council LEP are:

- 1) *This Plan aims to make local environmental planning provisions for land in Cobar in accordance with the relevant standard environmental planning instrument under section 3.20 of the Act.*
- 2) *The particular aims of this Plan are as follows—*
 - (aa) *to protect and promote the use and development of land for arts and cultural activity, including music and other performance arts,*
 - (a) *to protect, enhance and conserve agricultural land through the proper management, development and conservation of natural and man-made resources,*
 - (b) *to encourage a range of housing, employment, recreation and community facilities to meet the needs of existing and future residents of Cobar,*
 - (c) *to promote the efficient and equitable provision of public services, infrastructure and amenities.*

3.3.1 CLAUSE 2.1 - LAND USE ZONES

The subject site is identified as R2 Low Density Residential zoning under CLEP2012.

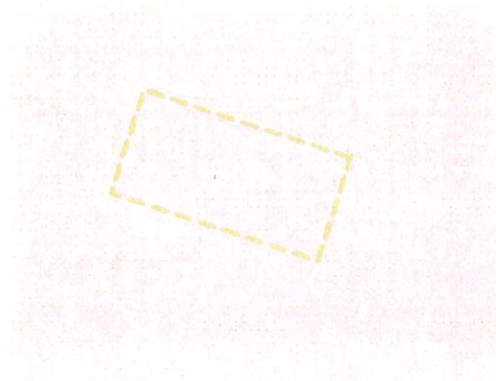


Figure 3: NSW Planning Portal map of subject site (indicated by yellow box)

3.3.2 CLAUSE 2.3 – ZONE OBJECTIVES AND LAND USE

Zone R2 Low Density Residential

1 Objectives of zone

- *To provide for the housing needs of the community within a low-density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

2 Permitted without consent.

Environmental protection works; Home-based child care; Home occupations; Roads

3 Permitted with consent.

Bed and breakfast accommodation; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Environmental facilities; Exhibition homes; Group homes; Health services facilities; Home businesses; Home industries; Home occupations (sex services); Neighbourhood shops; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Recreation facilities (outdoor); Residential accommodation; Respite day care centres; Tank-based aquaculture; Water recreation structures; Water reticulation systems

4 Prohibited

Hostels; Residential flat buildings; Rural workers' dwellings; Shop top housing; Any other development not specified in item 2 or 3

The development is consistent with the zone objectives, dwellings are permissible in the zone.

3.3.3 CLAUSE 4.3 - HEIGHT OF BUILDINGS

Although there is no building height limit, the proposed dwelling has a maximum building height of 4.5m.

3.3.4 SECTION 88B REQUIREMENTS

The property is subject to Section 88b restrictions as to user as detailed in **Part 2, Clause 2**. The specific conditions of this clause have been addressed below:

Terms of restrictions as to user over subject lot

Condition (a) - There shall be no dwelling erected upon the allotment with an overall floor area of less than eighty square metres (80m²)

Response:

The proposed Dwelling size is 224m²

Condition (b) – There shall be no more than two dwellings erected on the allotment and if there are to be two dwellings, same must be attached and not detached.

Response:

The proposal is for one five bedroom dwelling to be constructed

Condition (c) - There shall be no dwelling or dwelling house erected or permitted to remain on the allotment having front and side walls of material other than brick or masonry or a combination of same.

Response:

The proposed dwelling is to be constructed of Hebel cladding and rendered to give a masonry appearance. While the proposed construction material at the front and side of the property does not fully comply with the Section 88 requirements, Council is requested to consider the proposed Hebel cladding will be rendered to give a masonry appearance.

It is also noted that the neighbouring property at 13 James Place appears to be of lightweight cladding and not brick or masonry therefore it could be considered that a precedence has been set in the street.

Condition (d) – There shall be no detached garage or other building within 10 metres of a street alignment (other than a dwelling house or dwelling) upon the allotment where the external walls and roof of such buildings are constructed of material other than colorbond steel; brick; masonry or a combination thereof.

Response:

The proposed carport will be constructed of colorbond steel.

Condition (e) – There shall be no roof of any dwelling house or dwelling on the land of a material other than tile or colourbond steel unless such dwelling is of colonial or federation style and in such case in addition to the materials aforesaid zincalume roofing material may be used.

Response

The proposed roof will be constructed of colorbond trimdeck sheeting.

Condition (f) – There shall be no fence of a height exceeding 1.0 metres on the street alignment or alignments of the allotment.

Response

There are no proposed fences on the street alignment, the proposal will utilise the existing fencing with side fencing and gates either side of the dwelling to allow the residents to a secure rear yard area.

3.4 RESIDENTIAL DEVELOPMENT

3.4.1.1 SITE ANALYSIS

The site sits within an established residential area of Cobar. The construction of a dwelling provides a design solution that takes into consideration the favorable aspects of the site as well as the constraints encountered.

3.4.1.2 BUILDING SITING AND DESIGN

The proposal has been designed to ensure the privacy of the residents of the proposed development. Privacy has been achieved by providing appropriate setbacks through the design and layout of the development as well as using landscaping to help maintain separation and privacy between neighbouring properties.

3.4.1.3 STREET SETBACKS

The front setback to the carports from James Place is 6m. The dwelling is set back approximately 13m.

3.4.1.4 SIDE / REAR SETBACKS

The proposed dwelling will be setback from the north side boundary 2.2m with the carport located at a 1m setback. The intention of the carport location is to maximise the casual surveillance that can

be achieved from the front rooms of the dwelling. The south side setback is 2m with the rear having a setback of 7.8m to the deck.

3.4.1.5 SOLAR ACCESS AND ENERGY CONSERVATION

The private open space, some living areas, rear bedrooms and rear and side decks have a partially northern aspect which provides sufficient solar access to these areas. The existing vegetation located in the south west corner is being retained which will provide some shade in the afternoons from the western sun. Additional to this, the dwelling itself has been designed to ensure that the proposal complies with BASIX regulations. A BASIX assessment has been completed with the certificate confirming compliance with these requirements. The dwelling has been designed to achieve a 6-star NatHERS thermal comfort rating to offset the energy consumption of the dwelling. This is above the NatHERS minimum rating required for compliance as the owner is committed to ensuring comfortable living conditions for the occupants in an environmentally sustainable way. Additional measures that have been included in this design are Photo Voltaic panels to be installed.

3.4.1.6 VISUAL AND ACOUSTIC PRIVACY AMENITY

The proposal has been designed to ensure the privacy of the residents of the proposed development. Privacy has been achieved by providing appropriate setbacks through the design and layout of the development to help maintain separation and privacy between neighbouring properties.

Given that the proposed development is for a dwelling, it is not considered to result in any significant acoustic impacts on the surrounding environment, nor will any surrounding noise have adverse impacts on the proposed development.

3.4.1.7 EROSION AND SEDIMENT CONTROL

Erosion and sediment control on the site will be carried out in accordance with all NCC, Australian Standard and local authority requirements. Refer to plans for specific details and location.

3.4.1.8 GARAGES, CARPORTS AND OUTBUILDINGS

The carport has been setback 6m from James Place and has been designed with landscaping to reduce the dominance of garaging on the public streetscape.

3.4.1.9 PRIVATE OPEN SPACE

Private open space is provided adjacent to the deck area of the dwelling. It will provide recreational areas both undercover and grassed areas as well as providing space for service functions. The POS is 200m² which is sufficient for the proposed development. It is proposed that the existing vegetation located in the south western corner of the lot be retained to increase the amenity and provide shade to the POS.

3.4.1.10 VEHICLE PARKING AND ACCESS

The parking rates for a dwelling are one covered space. The proposed development has provided a double carport and there is room for stacked parking in the driveway if required.

To ensure the safety of residents and the general community the proposed development considers adequate access and manoeuvrability.

3.4.1.11 SAFETY IN DESIGN

The proposal has been designed taking on board the principles of crime prevention through environmental design (CPTED). The proposed development incorporates an active facade that will permit casual surveillance of its frontage. The proposed landscaping and existing fencing are appropriate when considering CPTED principles and will not permit easy concealment of intruders. The proposal incorporates built elements and landscaping that clearly distinguishes between the public and private domain. The proposal incorporates existing open space and proposed landscaped areas that will contribute to activity and natural surveillance of the area. The materials and finishes and the proposed development are considered appropriate as they provide measures, built elements, landscaping and design features that are consistent with CPTED principles.

3.4.1.12 STREETSCAPE

The proposed dwelling will be setback 13m from James Place with a carport located in front. The site is located in a new residential area and the front setbacks are consistent with surrounding development. The landscaping of the site will also assist in the enhancement of the streetscape.

3.4.1.13 LANDSCAPING

Landscaping design is included in the proposed development. The design has considered councils objectives of enhancing the appearance and amenity of new development, using native vegetation to reduce water consumption, and providing visual privacy and shade. Larger shrubs/trees have been used to screen the deck on the northern side of the dwelling to afford shade and privacy to the occupants of the proposed dwelling as well as the neighbouring property. See plans for details.

3.4.1.14 INFRASTRUCTURE AND SERVICES

Water and sewer as well as electricity, communications and waste services are available to the property. The proposed development will have adequate provision of services and not beyond the capacity of the site or result in a detrimental impact on the environment.

3.4.1.15 STORMWATER MANAGEMENT

All roof water will be directed to a rainwater tank via charged lines with the tank overflow to the street drainage system. The rainwater tanks will meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. Refer to plans for further details.

4 ENVIRONMENTAL EVALUATIONS

The proposed development has been evaluated regarding the matters for consideration of section 4.15 of the *Environmental Planning and Assessment Act 1979 (EP&A Act)* That have not been addressed elsewhere within this statement.

4.1 SECTION 4.15 (1)(a)(i) - ENVIRONMENTAL PLANNING INSTRUMENTS

All relevant planning instruments have been considered in the proposed development.

4.2 SECTION 4.15 (1)(a)(ii) – DRAFT ENVIRONMENTAL PLANNING INSTRUMENTS

No draft environmental planning instruments apply to this development.

4.3 SECTION 4.15 (1)(a)(iii) – DEVELOPMENT CONTROL PLAN

No DCP planning instruments apply to this development.

4.4 SECTION 4.15 (1)(a)(iii) – PLANNING AGREEMENTS

No planning agreements apply to this development.

4.5 SECTION 4.15 (1)(a)(iv) - REGULATIONS

All relevant regulations have been considered as part of the proposed development.

4.6 SECTION 4.15 (1)(b) – LIKELY IMPACTS OF THE DEVELOPMENT

4.6.1 CONTEXT AND SETTING

The proposed development is considered consistent with the residential surroundings and complies with the objectives of the Zone R2 Low Density Residential. The proposal will be in keeping with the existing residential development within the township of Cobar and will not impact upon the context or setting of the local area in an adverse manner.

4.6.2 ACCESS, TRANSPORT AND TRAFFIC

Access to the subject site is via James Place. James Place is a sealed all weather access road. The proposed development is not expected to significantly increase local traffic movement with the local area.

4.6.3 PUBLIC DOMAIN

The proposed development will not have an impact on any public domain.

4.6.4 SOCIAL IMPACTS

It is considered there will be a positive economic impact from the development with economic and social advantage through additional housing stock within the locality providing an increased dwelling resource.

4.6.5 CONSTRUCTION

The development will be constructed to all relevant BCA and Australian Standards requirements. Refer to documentation set for design and structural certification details.

4.6.6 DEMOLITION

Any proposed demolition works will be carried out in accordance with AS 2601-2001 (Demolition of Structures) and any relevant WorkCover Guidelines

4.6.7 WASTE MANAGEMENT

A detailed waste management plan accompanies the development application, and the proposed waste storage, holding and collection measures are considered acceptable. Notwithstanding it is noted that waste is to be appropriately managed during the demolition and construction stages of the development. The proposal will incorporate a waste storage area that will provide enough space for recycling and residual waste bins.

4.7 SECTION 4.15 (c) – SUITABILITY OF THE SITE FOR DEVELOPMENT

The proposed development is considered to be a suitable use of the site. The development is permissible under the LEP and has addressed relevant concerns through this SOEE. The proposal is within the public interest.

4.8 SECTION 4.15 (d) – SUBMISSIONS

Should the application be notified, any submissions are requested to be forwarded to the applicant for consideration

4.9 SECTION 4.15 (e) – PUBLIC INTEREST

It is considered that the proposal will have no detrimental effect on the public interest, subject to appropriate conditions being proposed.

5 CONCLUSION

The application for development seeks assessment and consent under the provisions of Section 4.15 of the Environmental Planning and Assessment Act 1979. The development is a permissible use under the Cobar Local Environmental Plan 201. The development is within the public's interest both socially, economically, and environmentally. The proposed development will have a positive effect to the local community. It will provide additional rental accommodation for local residents. It is therefore submitted that Cobar Council favourably consider the proposed development, subject to conditions.

ATTACHMENT 1 – WASTE MANAGEMENT PLAN

WASTE MANAGEMENT PLAN	
MATERIAL	METHOD OF DISPOSAL
Excavation Materials	Topsoil for landscaping of site
Garden Waste	To be recycled for chipping and composting
Bricks	Transported to crushing and recycling firm
Roof Tiles	Transported to crushing and recycling firm
Concrete	Transported to crushing and recycling firm
Timber – pine, particle board	Second Hand Building Materials Sales or Recycled at Local Waste Management Facility
Plaster Board	Landfill site
Metal	Recycled at metal recyclers or sent to landfill site (depending on metal)
Asbestos	In the event that asbestos is identified during the demolition of any existing building structures, then the product shall be removed in accordance with WorkCover 'Working with Asbestos Guide, 2008'
Other – including glass, doors, etc	Windows/doors to second hand building materials outlet. Remainder to licensed waste facility.
Local firms will be advised of any materials which are able to be crushed or recycled. Collection of these materials will be undertaken by a suitably qualified contractor. All records demonstrating lawful disposal of waste will be retained and kept readily accessible for inspection by regulatory authorities such as Council, DECC or WorkCover NSW.	

LEGEND

	TIMBER STUD
	HOT WATER SYSTEM
	AIR CONDITIONER UNIT
	SOLAR INVERTER
	ELECTRICAL DISTRIBUTION BOARD
	SMOKE DETECTOR
	CEILING FAN

BUILDING AREAS

FLOOR AREA	200.3m ²
PORCH AREA	6.6m ²
DECK AREA	36.0m ²
CARPOR AREA	36.0m ²
TOTAL AREA	279.9m ²

WINDOW SCHEDULE

ID	QTY	HEIGHT	WIDTH	FRAME TYPE	WINDOW TYPE	GLAZING	COMMENTS
01	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
02	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
03	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
04	1	900	600	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65
05	1	600	1500	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65
06	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
07	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
08	1	900	900	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65
09	1	1200	2400	ALUMINIUM	AWNING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
10	1	600	1500	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65

NOTE: ALL WINDOWS TO BE CAPABLE OF BEING LOCKED SLIGHTLY OPEN (105mm) AND HAVE LOCKABLE FLY SCREENS INSTALLED

EXTERIOR DOOR SCHEDULE

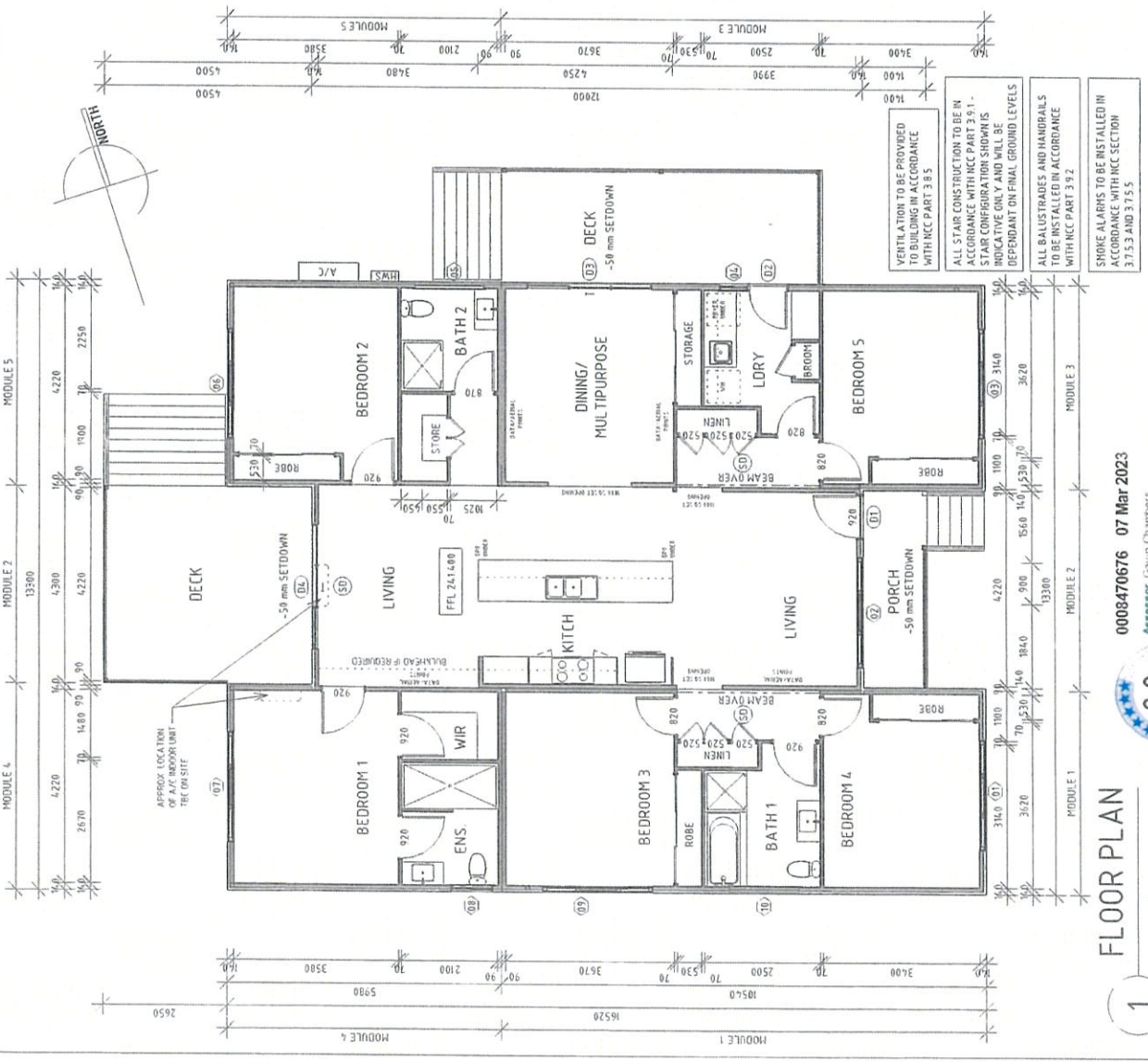
ID	QTY	HEIGHT	WIDTH	FRAME TYPE	DOOR TYPE	GLAZING	COMMENTS
01	1	2040	920	TIMBER	SWINGING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
02	1	2040	820	TIMBER	SWINGING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
03	1	2100	2700	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65
04	1	2100	2700	ALUMINIUM	SLIDING	PERFORMANCE	U VALUE 4.80 SHGC 0.53-0.65
05	1	2040	920	TIMBER	SWINGING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56
06	1	2040	920	TIMBER	SWINGING	PERFORMANCE	U VALUE 4.80 SHGC 0.46-0.56

FIXTURE SPECIFICATIONS

FIXTURE	TYPE	MODEL
HOT WATER SYSTEM	SOLAR WITH ELECTRIC BOOST	PIREX 3WAY MODEL No 5193S WITH 3" NPT 200" SOLAR COLLECTORS MOUNTED ON ROOF
AIR CONDITIONING	SPLIT SYSTEM REVERSE CYCLE TO LIVING AND HALL BED	HITACHI MODEL No SPA-WN2
PHOTOVOLTAIC SYSTEM	3kW SYSTEM	TRINA OR JINKO PANELS WITH A FRONIOS PRIMO INVERTER
OVEN	ELECTRIC	BOSCH BC6554050 OR SIMILAR
COOKTOP	ELECTRIC	CHEF C1C9464B OR SIMILAR
EXHAUST FANS	EXTERNALLY VENTED MECHANICAL EXHAUST FAN	INSTALLED IN BATHROOM, LAUNDRY AND KITCHEN (RANGE HOOD)

CLADDING & LINING SCHEDULE

TYPE	PRODUCT
WALLS - INTERNAL	10mm GYPROCK SUPERCEK
WALLS - INTERNAL WET AREAS	6mm VILLABOARD
WALLS - EXTERNAL	50mm REBEL CLADDING PANEL WITH RENDERED FINISH
ROOF	COLORBOND CUSTOM ORB ROOF SHEETING / COLORBOND TRIMTEK SHEETING WHERE NOTED
SUB FLOOR	TRIMTEK "DOG BOARDS" TO BE FIXED TO OUTSIDE OF SUBFLOOR
FLOORING - INTERNAL	19mm YELLOW TONGUE PARQUETBOARD
FLOORING - EXTERNAL	TREATED PINE DECKING OR COMPOSITE DECKING BOARD



APPROVAL

L-REVIEW 07/03/23

TANT REVIEW 17/02/23

OPTION 01/02/23

CLIENT

CORRECTIVE SERVICES INDUSTRIES

11 JAMES PLACE, COBAR

PROPOSED DWELLING

RESUBMITTED

BA

DATE

07/03/23

SHEET TITLE

FLOOR PLAN

DATE

07/03/23

PROJECT

11 JAMES PLACE, COBAR

SHEET NO.

A02

SHEET TOTAL

3/11

0008470676 07 Mar 2023

Assessor Gavin Chambers
Accreditation No. EXR13-1481

6.0 NATIONWIDE HOUSE BUILDING CERTIFICATION

Address: 11 James Place, Cobarr NSW 2035

88.5% www.nsw.gov.au

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BUILDING DESIGN

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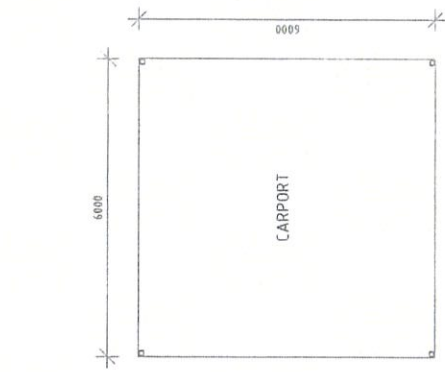
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Assessor Gavin Chambers
Accreditation No. DMN1314191

Address
11 James Place - Cobarr - NSW
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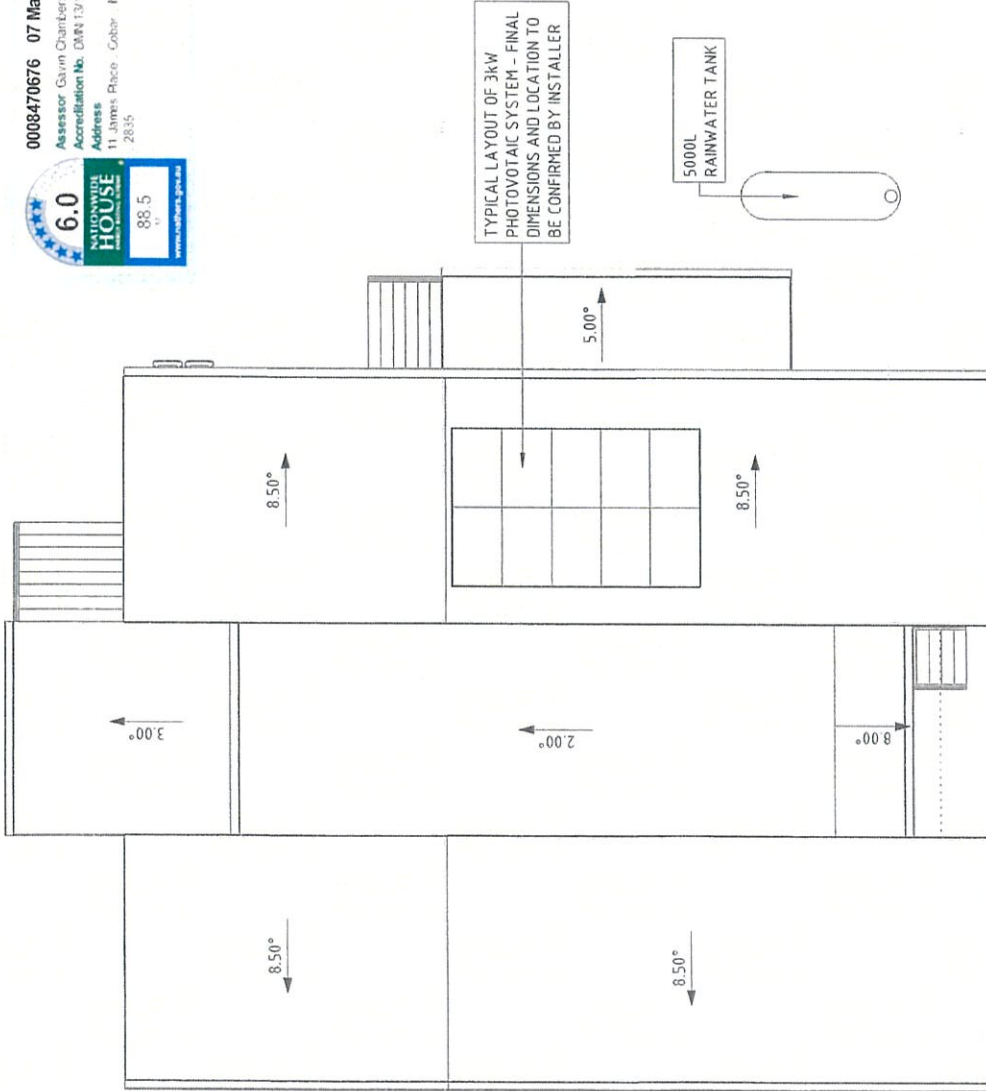


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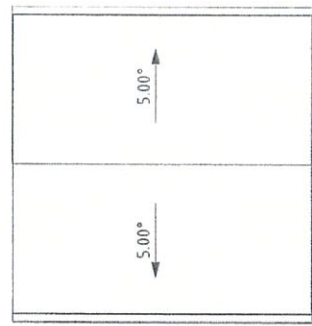


2
CARPORT PLAN
1 : 100

TYPICAL LAYOUT OF 3KW PHOTOVOLTIC SYSTEM - FINAL DIMENSIONS AND LOCATION TO BE CONFIRMED BY INSTALLER



1
ROOF PLAN - DWELLING
1 : 100

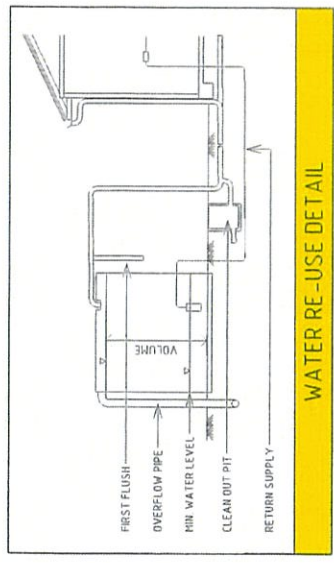


3
ROOF PLAN - CARPORT
1 : 100

ALL ROOFWATER TO BE DIRECTED TO RAINWATER TANK WITH OVERFLOW TO STREET DRAINAGE VIA CHARGED LINES

DOWNPIPE LOCATIONS TO BE CALCULATED BY INSTALLER IN ACCORDANCE WITH AS 3500.3

THOMAS BUILDING DESIGN	THE DESIGN AND CONSTRUCTION OF THOMAS AND ASSOCIATES CONSULTING Pty. Ltd. 11 James Place - Cobarr - NSW 2855 www.thomasandassociates.com.au PH: 02 951 10000		J FOR COUNCIL APPROVAL	07/03/23 CLIENT	CORRECTIVE SERVICES INDUSTRIES	DESIGNED BA	CHECKED BA	SHEET TITLE ROOF PLAN	SHEET NO. A05	SHEET DATE 6/11
	I FOR FINAL REVIEW	17/02/23 SITE ADDRESS	11 JAMES PLACE, COBARR	DATE 07/03/23	PROJECT PROPOSED DWELLING	SHEET SIZE A3	REVISION J	SHEET NO. 220382	DRAWING NO. A05	SHEET DATE 6/11



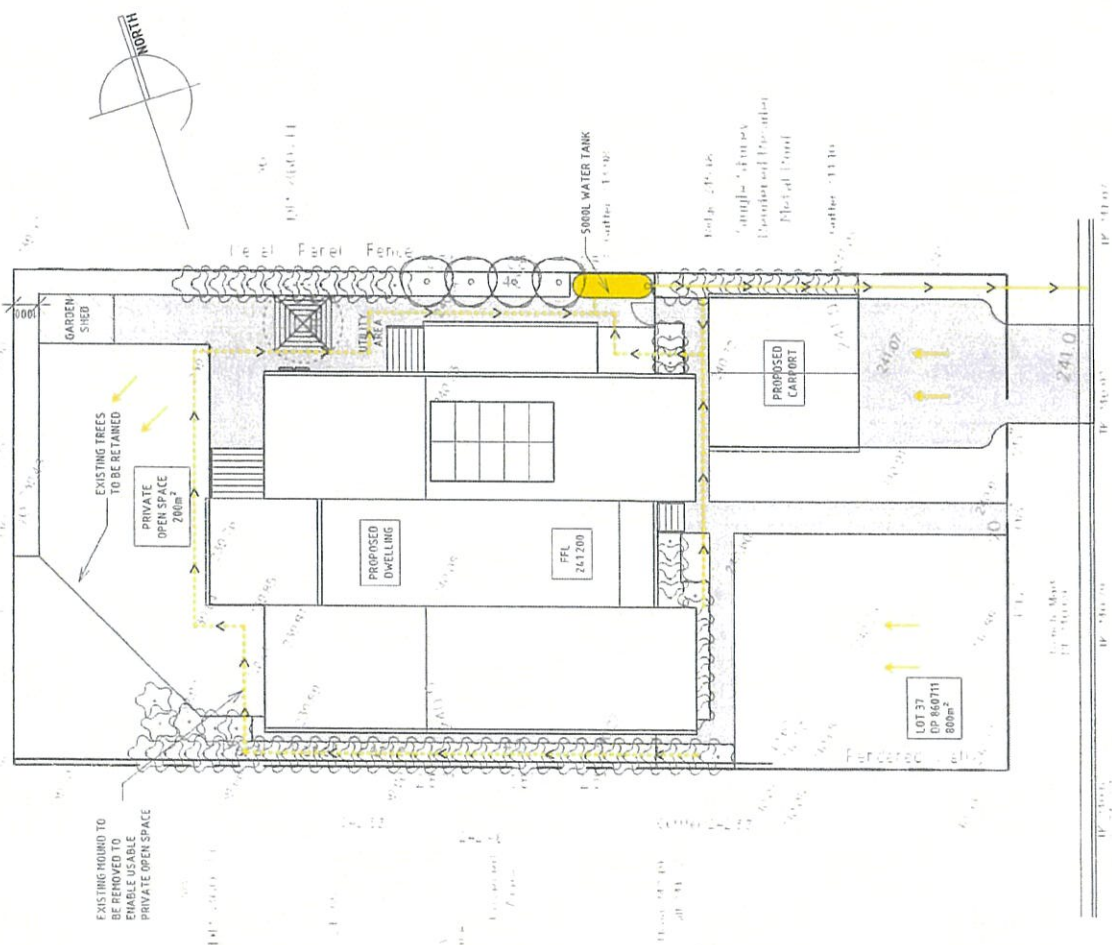
LEGEND	
	RAINWATER TANK
	GRADED DRAIN / DRAINAGE PIT
	DIRECTION OF GROUND WATER
	ROOF WATER DRAINAGE LINE TO TANK
	TANK OVERFLOW TO STREET SYSTEM

DRAINAGE NOTES

DOWNPIPE LOCATION TO BE CALCULATED BY INSTALLER IN ACCORDANCE WITH AS 3500.3

ALL ROOFWATER TO BE DIRECTED TO RAINWATER TANK WITH OVERFLOW TO STREET DRAINAGE SYSTEM VIA CHARGED LINE

DRAINAGE LINES INDICATIVE ONLY AND TO BE CONFIRMED ON SITE BY BUILDER



1 **DRAINAGE PLAN JAMES PLACE**

1:200



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110-115 Sturt Street Adelaide SA 5000
www.thomasbuildingdesign.com.au 08 8318 1011

REV	DESCRIPTION	DATE
J	FOR COUNCIL APPROVAL	07/03/23
I	FOR FINAL REVIEW	17/02/23
H	FOR CONSULTANT REVIEW	01/02/23

CLIENT: CORRECTIVE SERVICES INDUSTRIES
SITE ADDRESS: 11 JAMES PLACE, COBAR
PROJECT: PROPOSED DWELLING

DESIGNED	CHECKED	DATE
BA	BA	07/03/23

PROJECT NO.	SHEET NO.	SHEET TITLE
J	A3	DRAINAGE

7/11

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BASIX COMMITMENTS

11 James Place Cobarr

SUMMARY OF BASIX COMMITMENTS

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

4 Star Shower Heads	Yes (> 6 but <= 7.5 L/min)	Yes	
4 Star Kitchen / Basin Taps	Yes	4 Star Toilet	Yes
Alternative Water			
Minimum Tank Size (L)	5000	Collected from Roof Area (m ²)	150
Tank Connected To:			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		

THERMAL COMMITMENTS - Refer to TPA Specification on plans

ENERGY COMMITMENTS	
Hot Water	Solar (Electric Boost) 21 to 25 STCs
Cooling System	Living 1 Phase A/C 2 Star Bedrooms 2 Star
Heating System	Living 1 Phase A/C 2 Star Bedrooms 2 Star
Ventilation	1 x Bathroom Fan ducted to exterior Kitchen Fan ducted to exterior Laundry Fan ducted to exterior
Natural Lighting	Windows/Skylight in Kitchen Yes to 3 Windows/Skylight in Bathrooms/Toilets Yes to 3
Artificial Lighting	Number of bedrooms 0 Dedicated No Number of Living/Dining rooms 0 Dedicated No Kitchen No Dedicated No All Bathrooms/Toilets Yes Dedicated No Laundry Yes Dedicated No All Hallways Yes Dedicated No
OTHER COMMITMENTS	
Outdoor clothes line	Yes Ventilated refrigerator space Yes
Alternative Energy	via



0008470676 07 Mar 2023

Assessor Gavin Chambers

Accreditation No. EMR131491

Address 11 James Place Cobarr NSW

2836



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THERMAL PERFORMANCE SPEC.

February 2023 BSA Reference: 19170
Building Sustainability Assessments Ph: (02) 4962 3439
enquiries@buildingsustainability.net.au www.buildingsustainability.net.au

Important Note

The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NalHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.

In NSW both BASIX & the BCA variations must be complied with, in particular the following:

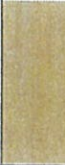



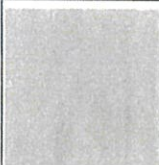
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(i), (ii) & (e) or (c), (d) & (e)
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.


Thermal Performance Specifications (does not apply to garage)

External Wall Construction	AAC 50mm Veneer	Added Insulation	R2.5
Internal Wall Construction	Plasterboard on studs	Added Insulation	None
Ceiling Construction	Plasterboard	Added Insulation	R6.0 to ceilings adjacent to roof space
Roof Construction	Colour (Solar Absorbance) Medium SA 0.50	Added Insulation	Foil + R1.0 blanket
Floor Construction	Timber	Covering	Added Insulation
Windows	Glass and frame type	U value	SHGC Range
Performance glazing Type A	4.80	0.46 - 0.56	As drawn
Performance glazing Type B	4.80	0.53 - 0.65	As drawn
Type A windows are awning windows, double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Type B windows are awning windows, double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Skylights	Glass and frame type	U SHGC	Area sq m
Detail			
U and SHGC values are according to AFRC. Alternative products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements	All shade elements modelled as drawn	(eaves, verandahs, awnings etc)	
Ceiling Penetrations	Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA	(downlights, exhaust fans, flues etc)	
Ducting	Modelled as drawn at 150mm. No insulation losses from downlighting have been modelled.		
Ceiling Fans used in the modelling and to be installed in the following areas:	Living areas: 1x 1200mm (dining); Bedrooms: 5x 1200mm.		

FOR COUNCIL APPROVAL	07/03/23	CLIENT	CORRECTIVE SERVICES INDUSTRIES
FOR FINAL REVIEW	17/02/23	DATE	07/03/23
FOR CONSULTANT REVIEW	01/02/23	PROJECT	11 JAMES PLACE, COBARR
DESCRIPTION		PROPOSED DWELLING	
J		DESIGN	BA
I		PERMIT	BA
H		CHECKED	BA
REV		PROJECT NO	A3
		PROJECT TITLE	220382
		PROJECT NO	A08
		SHEET NO	9/11

Finishes Schedule - Garnie

Item	Location	Selection	Code	Image	URL / Notes
Kitchen					
Joinery Main	Base Cabinet, tall cabinets and Kicker	Laminex Polar White - Natural Finish with matching 2mm PVC trim	205		
Optional Feature	Wall Cabinets (Excludes fridge cabinet)	Laminex RURAL oak - Natural finish with matching 2mm PVC trim	77		10mm overhang at bottom - No handles
Bench top	Work surfaces	Laminex LIMED CONCRETE - Natural finish in formed square edge profile	8534		
Wall Tile	Splashback kitchen and l'dry	United Gloss White subway Tile - 182174	182174		
Grout	Splash back	Mapei - Cement Grey or equivalent	113		
Bathroom					
Floor Tile	Wet Area Floor	Beaumont tiles - Laguna Dark Grey microtec textured - 300 x 300 porcelain	1245349		
Grout	Wet Area Floor	ADREX or equivalent - colour matched - P3			

Wall Tile	Wet areas	Beaumont tiles - Sphere White Satin finish - 400 x 200	1221638	Grout to be ADREX or equivalent - white and super fine
Floor Finishes				
Carpet Option 1	Excludes ground floor	No carpet to be used on single level dwellings		
Vinyl	All ground floor inc. Kitchen, dining, Hall, Living and bedrooms	Expona planks - Natural Oak Medium	2232	
Wall Finishes				
Main Wall Colour	All except feature colour	DULUX - Tranquil Retreat - Low Sheen washable finish	SN4G1	will appear lighter on wall
Trims, doors etc....	As specified	DULUX - Vivid White gloss		
Window Finishes				
Window Coverings	All Windows excluding obscure glass	Vibe Roller Blinds in Colour - Ice		
Sliding door / Bifold Door coverings	All glazed doors excluding obscure glass	Vibe Roller Blinds in Colour - Ice		

THOMAS
BUILDING DESIGN

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NSW 2203
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FOR COUNCIL APPROVAL

FOR FINAL REVIEW

FOR CONSULTANT REVIEW

DESCRIPTION

CLIENT

11 JAMES PLACE, COBAR

PROJECT

PROPOSED DWELLING

DATE

07/03/23

DATE

07/02/23

DATE

07/02/23

DESIGNED

BA

DATE

07/03/23

FOR COUNCIL APPROVAL

FOR FINAL REVIEW

FOR CONSULTANT REVIEW

DESCRIPTION

REVISION

J

REVISION

J

DATE

07/03/23

DATE

07/02/23

REVISION

A3

REVISION

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DATE

07/03/23

DATE

07/02/23

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A09

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A09


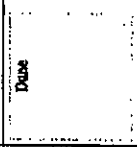

DATE

07/03/23

DATE

10/11

Finishes Schedule - External

Item	Selection	Image
Roof and Gutters	Colorbond - Surfsmist	
Fascias & Barge Boards	Colorbond - Wallaby	
Wall Colour	Exterior Paint - Dune	
Brick Skin	PGH Foundations - Stone - Exp grade	
Eaves	Exterior Paint DULUX Natural White	
Feature trims and entry Doors	Exterior Paint DULUX Natural White	
Windows and Trims	Aluminium Powder coat - Surfsmist / white	
Garage Door	Colorbond - Surfsmist	

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	PROJECT ADDRESS 31 JAMES PLACE, COBAR		PROJECT PROPOSED DWELLING		DATE 07/03/23		DRAWN BA		CHECKED BA		PROJECT NO. 220382		SHEET SIZE A3		SHEET TOTAL 11/11

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This Statement of Environmental Effects has been prepared by Thomas & Associates Consulting Pty Ltd.

Thomas & Associates Reference

220382

Contact Details

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Email: admin@tgthomas.com.au

RESPONSE TO SUBMISSIONS FROM APPLICANT

THOMAS

9 May 2023

The General Manager
Cobar Shire Council
PO Box 223
COBAR NSW 2835

Dear Sir

RE: PAN-312213

We write on behalf of Correctional Services Industries and Aboriginal Housing Office in relation to the above development application.

We would like to respond the objections received in relation to the above development.

Issue 1 – Height of rear deck and privacy to rear neighbour

There are no height restrictions on the lot, a single storey dwelling is proposed and permissible under the zoning. The plans also show that the existing trees at the rear of the lot are being retained and this will help screen the development and maintain privacy for the rear neighbours. All outdoor spaces have screening by way of landscaping that provides privacy to surrounding neighbours as well as the subject property itself.

Issue 2 – Storm/ground water containment

Drainage is shown on the plans. All roof water will be directed to a rainwater tank via charged lines with the tank overflow to the street drainage system. The development will not produce anymore surface water than is currently produced by the vacant lot.

Issue 3 – Use as a boarding house

The development will consist of a five-bedroom Class 1a dwelling that will be used as intergenerational Aboriginal housing. It is being constructed by CSI for the Aboriginal Housing Office. The use of the building, as detailed in the development application, does not pertain to a boarding house and therefore cannot be lawfully used in this way.

Issue 4 – Transportable Buildings

The dwelling will be constructed offsite and transported to site in modules with a carport and covered decks being constructed onsite. Although it is transported to site, it is intended to be and will remain a permanent dwelling on the site. These dwellings are constructed by inmates at various correctional centres in a scheme that provides them with valuable skills and assists in rehabilitation when re-entering society. They also provide a cost-effective way to quickly install a full sized dwelling on a regional or remote site.

These types of dwellings, once installed onsite with decks and landscaping, will blend with the neighbouring buildings and are not easily identifiable as a typical 'transportable dwelling'. Previously council have approved transportable buildings for the area.

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We trust this clarifies the objections. If you require any further information, please do not hesitate to contact me on 4937 1562.

Yours sincerely
THOMAS & ASSOCIATES CONSULTING PTY LTD

Melanie Greene
Certificate IV in Local Government Planning

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